

Item: 3.2

Local Review Body: 24 April 2019.

Proposed Erection of House with Internal Garage on land near Vanskavaig, Carness, St Ola (18/419/PP).

Report by Chief Executive.

1. Purpose of Report

To determine a review of the decision of the Appointed Officer to refuse planning permission for the proposed erection of a house with internal garage on land near Vanskavaig, Carness, St Ola.

2. Recommendations

The Local Review Body is invited to note:

2.1.

That planning permission for the proposed erection of a house with internal garage on land near Vanskavaig, Carness, St Ola, was refused by the Appointed Officer on 20 December 2018, for the reasons outlined in section 3.2 of this report.

2.2.

That the applicant has submitted a Notice of Review requesting that the decision of the Appointed Officer, referred to at paragraph 2.1 above, be reviewed.

It is recommended:

2.3.

That the Local Review Body determines whether it has sufficient information to proceed to determination of the review, and if so:

- Whether to uphold, reverse or vary the decision of the Appointed Officer.
- In the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision notice.

2.4.

That, in the event the Local Review Body agrees that further information is required to determine the review, what further information is required, which parties are to be requested to provide the information, and whether to obtain further information by one or more of the following methods:

- By means of written submissions; and/or.
- By the holding of one or more hearing.

3. Background

3.1.

Planning application 18/419/PP relates to the proposed erection of a house with internal garage on land near Vanskavaig, Carness, St Ola.

3.2.

The Appointed Officer refused the planning application on 20 December 2018 on the following grounds:

3.2.1.

The site is located within a cumulative drainage impact area where there are additional constraints regarding the disposal of sewage. Orkney Local Development Plan 2017 policy 13C and SEPA require all development within the settlement boundaries to connect to the public sewer. A private system is proposed and SEPA has formally objected to the application. Due to the failure to connect to the public system, the development is contrary to Orkney Local Development Plan 2017 Policies 1 and 13C. There are no material considerations that would outweigh policy concerns.

3.3.

In terms of the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013, the applicant has submitted a Notice of Review and supporting information, which is attached as Appendix 1 to this report.

3.4.

The Planning Handling Report, Planning Services file and the Decision Notice, including the reason for refusal, referred to in section 3.2 above, are attached as Appendices 2, 3 and 4 to this report.

4. Review Procedure

4.1.

In response to a Notice of Review “interested parties” are permitted to make a representation to the Local Review Body. “Interested parties” include any party who has made, and not withdrawn, a representation in connection with the application. No further representations were received.

4.2.

In accordance with the Council’s policy to undertake site inspections of all planning applications subject to a local review, prior to the meeting to consider the review, a site visit to Vanskavaig, Carness, St Ola, was undertaken at 09:30 on 24 April 2019.

4.3.

The Local Review Body may uphold, reverse or vary the decision of the Appointed Officer. In the event that the decision is reversed, draft planning conditions are attached at Appendix 5 for consideration.

4.4.

If the Local Review Body decides that further procedure is required, it may decide to hold a pre-examination meeting to consider what procedures to follow in the review, or to obtain further information by one or more of the following methods:

- By means of written submissions; and/or.
- By the holding of one or more hearing(s).

5. Relevant Planning Policy and Guidance

5.1.

Section 25 of the Town and Country Planning (Scotland) Act 1997 as amended states, “Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination is, unless material considerations indicate otherwise.....to be made in accordance with that plan...”

5.2.

The full text of the Orkney Local Development Plan 2017 (OLDP 2017) and other supplementary planning advice and guidance can be read on the Council website at:

<http://www.orkney.gov.uk/Service-Directory/D/Planning-Policies-and-Guidance.htm>

The policies and supplementary guidance listed below are relevant to this application:

- Orkney Local Development Plan 2017:
 - Policy 1 – Criteria for All Development.
 - Policy 2 – Design.
 - Policy 5A – Housing in Settlements.
 - Policy 9 – Natural Heritage and Landscape.
 - Policy 13B – Sustainable Drainage Systems (SuDS).
 - Policy 13C – Waste Water Drainage.
 - Policy 14C – Road Network Structure.
- Supplementary Guidance: Settlement Statement for the Towns – Kirkwall (March 2017).
- Planning Policy Advice – Development Quality Within Settlements (March 2012).
- Kirkwall Urban Design Framework (2018).

6. Corporate Governance

This report relates to the Council complying with its statutory duties as a Planning Authority and therefore does not directly support and contribute to improved outcomes for communities as outlined in the Council Plan and the Local Outcomes Improvement Plan.

7. Financial Implications

All resources associated with supporting the review procedure, mainly in the form of staff time, are contained within existing Planning Service revenue budgets.

8. Legal Aspects

8.1.

Under the Planning etc (Scotland) Act 2006 and the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013 where an application for planning permission for local development has been determined by the Appointed Officer in accordance with the Council's Planning Scheme of Delegation, the applicant is entitled to seek a review of that decision by the Local Review Body.

8.2.

The procedures to be followed in respect of the review are as detailed in sections 4.3 and 4.4 above.

8.3.

A letter from the Chief Planner, Scottish Government, in July 2011 confirmed that a review by a Local Review Body should be conducted by means of a full consideration of the application afresh.

9. Contact Officers

Angela Kingston, Clerk to the Local Review Body, extension 2239, Email angela.kingston@orkney.gov.uk

Roddy MacKay, Planning Advisor to the Local Review Body, extension 2530, Email rodny.mackay@orkney.gov.uk

Peter Trodden, Legal Advisor to the Local Review Body, extension 2219, Email peter.trodden@orkney.gov.uk

10. Appendices

Appendix 1 – Notice of Review (pages 1 – 5)

Appendix 2 – Planning Handling Report (pages 6 – 15)

Appendix 3 – Planning Services File (pages 16 – 97)

Appendix 4 – Decision Notice and Reasons for Refusal (pages 98 – 106)

Appendix 5 – Draft Planning Conditions (pages 107 – 108)

Pages 1 to 108, with the exception of pages 16 to 23, 107 and 108, can be viewed at http://www.orkney.gov.uk/Service-Directory/D/application_search_submission.htm and inserting the planning reference “18/419/PP”.

All other documents can be viewed at <http://www.orkney.gov.uk/Council/C/LRC2019.htm> and referring to the relevant meeting date.

19 MAR 2019

Notice of Review

NOTICE OF REVIEW

TO:

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE) (SCOTLAND) REGULATIONS 2008

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

IMPORTANT: Please read and follow the guidance notes provided when completing this form. Failure to supply all the relevant information could invalidate your notice of review.

Use BLOCK CAPITALS if completing in manuscript

Applicant(s)

Agent (if any)

Name

Name

Address

Address

Postcode

Postcode

Contact Telephone 1

Contact Telephone 1

Contact Telephone 2

Contact Telephone 2

Fax No

Fax No

E-mail*

E-mail*

Mark this box to confirm all contact should be through this representative:

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes No

Planning authority

Planning authority's application reference number

Site address

Description of proposed development

Date of application

Date of decision (if any)

Note. This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

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Nature of application

- 1. Application for planning permission (including householder application)
- 2. Application for planning permission in principle
- 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)
- 4. Application for approval of matters specified in conditions

Reasons for seeking review

- 1. Refusal of application by appointed officer
- 2. Failure by appointed officer to determine the application within the period allowed for determination of the application
- 3. Conditions imposed on consent by appointed officer

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- 1. Further written submissions
- 2. One or more hearing sessions
- 3. Site inspection
- 4. Assessment of review documents only, with no further procedure

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

EXPENSE TO CONNECT TO PUBLIC SEWER
CONFLICTING DECISIONS BASED ON APPLICATION REFERENCE 13/206/PP, WOULD
HAPPILY ATTEND A HEARING SESSION TO DISCUSS FURTHER.

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

AFTER EXPLORING THE OPTION OF CONNECTING INTO THE PUBLIC SEWER, I REQUESTED A WRITTEN QUOTATION FROM A CONTRACTOR TO EXCAVATE A SEWERAGE PIPE TO THE NEAREST PUBLIC SEWER POINT (FRONT OF MEAKLAND). NEARBY RECENT BUILD, REFERENCE 13/206/PP, ALSO REJECTED BY SEPA BUT GRANTED PERMISSION ON THE BASIS OF RECENT SITE HISTORY, DISTANCE AND FINANCIAL EXPENSE TO GAIN ACCESS TO MAINS SEWER. SIMILAR CONSTRAINTS APPLY TO MY PUBLIC SEWER ACCESS.

THE PROPOSED TREATMENT PLANT WOULD BE BUILT TO A STANDARD SO AS TO ALLOW ADOPTION BY SCOTTISH WATER IN THE FUTURE.

CONNECTION INTO THE EXISTING OUTFALL PIPE HAS BEEN CONFIRMED WITH THE OWNER TO HAVE SUFFICIENT CAPACITY (4") TO ACCOMMODATE BOTH PROPOSED BUILD AND SAEVENMORE'S EFFLUENT.

ALL IN, INCLUDING MINIMUM ESTIMATE AND FEE FOR CROSSING THIRD PARTY LAND, THE EXPENSE ON THE CONNECTION TO THE PUBLIC SEWER WOULD BE AT LEAST [REDACTED]

BASED ON THE ESTIMATE, DISTANCE AND PERMISSION OF THIRD PARTY LAND OWNERS, I STILL DON'T FEEL PUBLIC SEWER CONNECTION IS A FEASIBLE OPTION. PARTICULARLY, WHEN THERE IS AN APPROVED EXISTING TREATMENT PLANT READILY ACCESSIBLE AT A FRACTION OF THE COST.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

[Empty box for explanation]

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List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

ANDREW SINCLAIR'S ESTIMATED QUOTE FOR WORKS TO BE CARRIED OUT.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed

[Redacted signature box]

Date

19/03/19



ANDREW SINCLAIR

Contractors and Plant Hirers

HATSTON INDUSTRIAL ESTATE ~ KIRKWALL ~ ORKNEY ~ KW15 1RE
Tel: 01856 873178 ~ Fax: 01856 873351 ~ e-mail: info@andrew-sinclair.co.uk

Estimate 3091

19th March 2019

Mr Alexander Findlater



Email Only

Estimate: 3091

Budget Price- Foul Pipeline Carness

Works to excavate and install 96m of 110mm foul water pipeline in Carness Road site to existing Foul Manhole. Works include:

- 96m of pipeline installed including concrete cap where required.
- 1nr disconnecting pot
- 2nr manhole not exceeding 1.5m depth
- 1nr connection into existing manhole.

Total Sum 

Prices do not include VAT

Budget price only, tender price to be submitted on receipt of more information.

No allowance for any rock breaking.

Prior to any works commencing a level survey would need to be completed to ensure levels and falls are suitable for installation without the requirement for a pump system.

No service information has been provided, presumed no underground services in close proximity to works.

All permits and permissions by others including landowner agreements.

Price remains valid for 30 days.



PLANNING HANDLING REPORT

1. Summary

Proposal: Erect a house with an integral garage and air source heat pump.	Site: Vanskavaig (Land Near), Carness, St Ola.
Applicant: Mr Aeron Findlater, 15 The Mound, Kirkwall, Orkney, KW15 1ZH	Application Number: 18/419/PP
Agent: (None)	Application Type: Planning Permission

All application documents (including plans, consultation responses and representations) are available for members to view at the following website address: http://www.orkney.gov.uk/Service-Directory/D/application_search_submission.htm (then enter the application number given above).

2. Consultations

2.1. Roads Services

No adverse comment.

2.2. Scottish Water

2.2.1.

"This proposed development will be fed from Kirbister Water Treatment Works. Unfortunately, Scottish Water is unable to confirm capacity at this time so to allow us to fully appraise the proposals we suggest that the applicant completes a Pre-Development Enquiry (POE) Form and submits it directly to Scottish Water.

There is currently sufficient capacity in the Kirkwall Waste Water Treatment Works. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Scottish Water records appear to show abandoned water infrastructure within your site. Please note that Scottish Water records are indicative only and your attention is drawn to the disclaimer ... If the infrastructure requires to be removed to allow your works to proceed please contact the Scottish Water Asset Impact Team using the email address ... for guidance prior to commencing the works."

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2.2.2.

The applicant has been advised of this by a letter from the Planning Authority dated 5 November 2018.

2.3. Environmental Health

No objection subject to condition limiting noise from air source heat pump.

2.4. Scottish Environment Protection Agency (SEPA)

"We note that the proposed house is within the settlement boundary identified in the local development plan and the public sewer is nearby (in the adjacent housing development). Disposal of foul drainage should always be to the public sewer where practical. We therefore object to the proposed private foul drainage system and request that the proposed development is connected to mains drainage/public sewer. If appropriate this matter could be addressed by a condition attached to any grant of planning consent.

3. Representations

The proposal was advertised in the Orcadian newspaper on 1 November 2018 under the Town and Country (Development Management Procedure) (Scotland) Regulations 2013 Notice Under Regulation 20 and by neighbour notification.

4. Pre-application Advice

4.1.

Pre-application advice was sought from the Planning Authority. The advice indicated that whilst there is a presumption for the development of new houses within the settlement boundaries in principle, it must be demonstrated that the house site can be adequately serviced and elsewhere accords with Policy 5A of the Orkney Local Development Plan 2017. General advice was also provided regarding scale, design, care to avoid overlooking, privacy between dwelling and external finishes.

4.2.

The applicant was also advised regarding foul drainage and that *"the typical approach would be to advocate connection to mains drainage, however I understand your potential difficulties in achieving this connection. The area is defined as one in which SEPA is concerned about waste water and the proliferation of private drainage systems – as such they would be subject to consultation upon submission of a planning application. Of the two options that you suggest there may be an environmental gain if connection into an existing private system is feasible and that system can adequately cope with the additional foul drainage load – you may wish however to fully explore this option legally and the implications which may arise... given SEPA concerns and you may wish to contact the local SEPA office directly for further site specific comment to give some indication of what their position would be in the event that you progress to formal application."*

4.3.

It is understood that the applicant did subsequently contact SEPA and that the response was that the area of the site is within a zone of cumulative drainage impact and that SEPA would object to a proposal that would not connect to the public sewer.

5. Relevant Planning Policy and Guidance

The full text of the development plan and supplementary guidance can be read on the Council website at <http://www.orkney.gov.uk/Service-Directory/D/Planning-Policies-and-Guidance.htm>

The policies, supplementary guidance and planning policy advice below are relevant to this application.

- Orkney Local Development Plan 2017:
 - Policy 1 – Criteria for All Development.
 - Policy 2 – Design.
 - Policy 5A – Housing in Settlements.
 - Policy 9 – Natural Heritage and Landscape.
 - Policy 13B – Sustainable Drainage Systems (SuDS).
 - Policy 13C - Waste Water Drainage.
 - Policy 14C –Road Network Structure.
- Supplementary Guidance – Settlement Statement for the Towns – Kirkwall (March 2017)
- Planning Policy Advice – Development Quality Within Settlements (March 2012)
- Kirkwall Urban Design Framework (2009)

6. Legal Implications

6.1.

Section 25 of the Town and Country Planning (Scotland) Act 1997 as amended (the Act) says "Where, in making any determination under the Planning Acts, regard is to be had to the development plan, the determination is, unless material considerations indicate otherwise...to be made in accordance with that plan..."

6.2.

Where a decision to refuse an application is made, the applicant may appeal under section 47 of the Act. Scottish Ministers are empowered to make an award of expenses on appeal where one party's conduct is deemed to be unreasonable. Examples of such unreasonable conduct are given in Circular 6/1990 and include:

1. Failing to give complete, precise and relevant reasons for refusal of an application;

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2. Reaching a decision without reasonable planning grounds for doing so;
3. Not taking into account material considerations; and
4. Refusing an application because of local opposition, where that opposition is not founded upon valid planning grounds.

An award of expenses may be substantial where an appeal is conducted either by way of written submissions or a local inquiry.

7. Assessment

7.1. Site and Proposal

The site is located on land to the south east of the dwelling at Vanskavaig in the Greenfield area of Carness Road. The site is located at the end of the access track and is adjacent to the dwelling at Saevermere to the south. The site is undeveloped and there is no previous planning history. A large part of the site is laid to hardstanding.

7.2. Policy Context and Housing Policy

7.2.1.

The Orkney Local Development Plan 2017 (OLDP 2017) states that *"All of the policies in the Plan will be afforded equal weight in the determination of planning application; if a proposal is contrary to any single policy then it does not accord with the Plan."* The development has been assessed under the relevant policies of the Orkney Local Development Plan and other material planning considerations.

7.2.2.

The site is located within the settlement boundary of Kirkwall, where there is a general presumption in favour of housing development (including infill development and redevelopment of derelict land), in principle, under OLDP 2017 policy 5A – Housing in Settlements, provided that the development also complies with other policies of the plan and any other material planning considerations.

7.3. Design and Appearance

The design of the dwelling is similar to others in the area, although it would be larger than its closest neighbours at Vanskavaig and Saevermere. The general appearance of the dwelling and the proposed materials, which would include black flat profile concrete tiles for the roof, Glenarm White Dry Dash for the walls, Grey windows and doors and Black PVCu fascia boards, soffits and rainwater goods, would be acceptable in the location and would not have a significant affect upon the character of the area. In this respect, it is considered that the design and appearance of the proposed dwelling would be acceptable and would comply with OLDP 2017 Policies 1(i) and 2.

7.4. Residential Amenity

7.4.1.

The proposed dwelling would be located within 11m of the dwelling at Saevermere and 7m from the dwelling at Vanskavaig. Whilst there is a bedroom window on the upper floor of the proposed dwelling facing towards Vanskavaig, the elevation it faces is blank. The garage of the proposed house would face the side elevation of Saevermere. All windows and the door to the front of the dwelling would face across the front drive area of that property, which could have some impact on the privacy of this area of the property at Saevermere. However, the site is within the settlement boundary where dwellings are typically closer together and critically the windows of the proposed house would not directly overlook principle windows of that property. This, together mitigation by way of planting and fencing could be used to reduce the impact on residential amenity and privacy. It is unlikely that the proposed development would have a significant impact on the residential amenity of other third-party dwellings within the area.

7.4.2.

Subject to a condition to protect the residential amenity/privacy of Saevermere through boundary screening and also with regard to limiting noise from the air source heat pump, it is considered that the development could comply with OLDP 2017 Policy 1(iv).

7.5. Landscape and Visual Amenity

The site is located within the settlement boundary and would be seen together with other dwellings and built development in the Greenfield/Carness Road area. Although a large house, it would not be overly prominent in the area and would be concealed from Carness Road by other housing development. It is considered unlikely that the wider landscape and visual amenity of the area would be adversely affected and therefore would comply with OLDP 2017 Policies 1(i) and 9G.

7.6. Access

The site would be accessed via the existing access that runs between Vanskavaig and Carness Road. Roads Services has no objection to the proposal. The access road is unadopted/private.

7.7. Surface Water Drainage

A condition could control construction of sustainable surface water drainage (SuDS). In its consultation response, Scottish Water advised that their records indicate that there is abandoned water infrastructure within the site which may have an impact on the development (i.e. having to be removed prior to any works commencing) and placed a requirement to contact Scottish Water. The applicant was advised of this by the Planning Authority in a letter dated 5 November 2018.

7.8. Sewerage

7.8.1.

The site is located within a Waste Water Consultation Zone due to cumulative drainage impact, and SEPA was consulted. SEPA has objected to the proposal, requiring that the development connects to the public sewer. SEPA suggests a planning condition to that effect; however, a condition requiring that the development is not occupied until connected to the public sewerage system would of course affect the house being brought into use given that there is no reasonable medium-term prospect of the house being able to connect.

7.8.2.

It is a requirement under OLDP 2017 Policy 13C, that *“All new development within or adjacent to settlements must connect to the public sewer as defined in the Sewerage (Scotland) Act 1968, unless a) The proposed development is in a settlement where there is no, or a limited collection system, or b) The proposed development is in a village or town where there are infrastructure constraints that prevent connection and a temporary private system is proposed.”*

7.8.3.

In their consultation response, Scottish Water confirms there *“is currently sufficient capacity in the Kirkwall Waste Water Treatment Works...”*

7.8.4.

The distance between the closest part of the proposed development site and the closest sewer main, as confirmed by a Scottish Water plan provided by the applicant, is 62m and is located at the front of the property called Merkland in the adjacent development (as indicated by the blue dot on the following map).



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7.8.5.

The applicant has made the case that connection to the mains would be unfeasible as it would *“require excavating through a field, dykes, gardens and a tarmac road to gain access”*. Instead, it is proposed to use a private package plant that would connect to an existing foul outfall to the shore that connects to an existing foul drainage treatment plant at the neighbouring property at Saevermere. Whilst it is technically possible to modify registered discharges under authorisations from SEPA (for example by additional houses joining the system), the existing consent at Saevermere may have a limit on quality and volume of discharge from that property and the proposed package plant would require separate registration. However, in SEPA’s document ‘Regulatory Method (WAT-RM-03)’ (https://www.sepa.org.uk/media/152675/wat_rm_03.pdf) regarding sewage discharges, they state that *“SEPA’s preference is for a single treatment system shared by a number of properties rather than individual systems provided for each dwelling.”* There is no indication in the application whether the existing outfall outlet has capacity for the anticipated additional load from the proposed development. There is also the issue of ownership and responsibility for the system. These are not Planning issues, and compliance and authorisation of the system ultimately rests with SEPA and should the proposed sewage system not be acceptable to SEPA, that would prevent the development.

7.8.6.

It is considered that the separation distance between the site and the public sewer main is not so great that the options should be dismissed, or an alternative which is contrary to policy be accepted. The financial implications to the applicant and issues regarding obtaining permissions to cross third party land to enable the site to connect to the public sewer are not material planning considerations.

7.8.7.

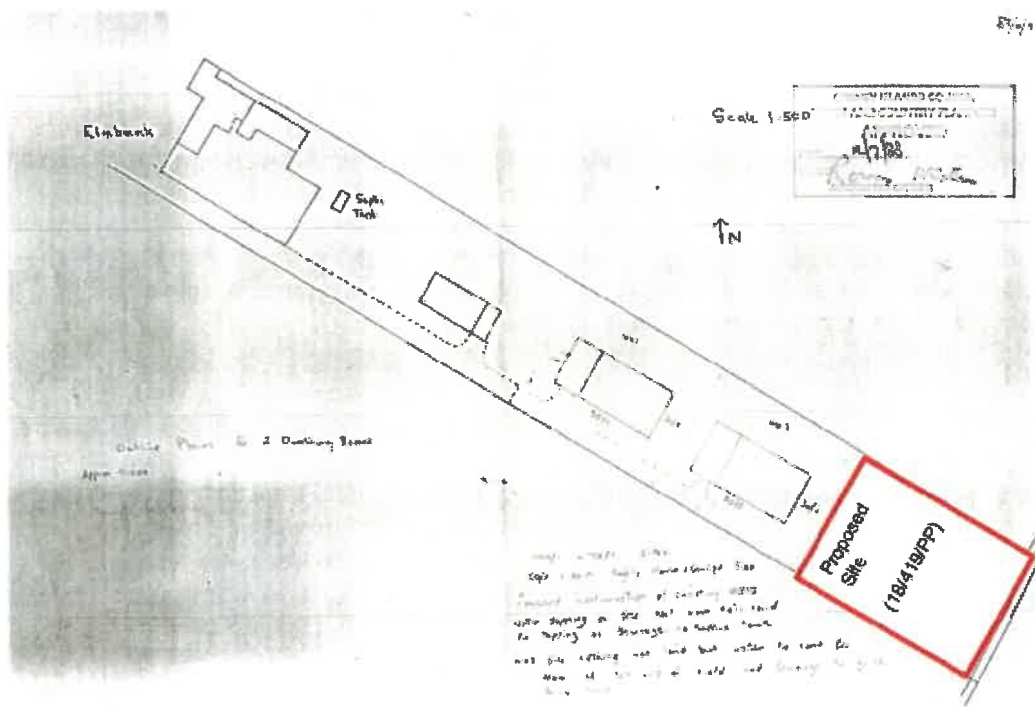
The applicant states in their submission that other dwellings have been approved in the Carness area that have private sewage systems and whilst this is the case, each application must be assessed on its own merits, in accordance with the OLDP current at the time of the application and taking into account any other material planning considerations. The current proposal must be assessed according to compliance with the OLDP 2017. The closest properties to the proposed site which use private sewage systems are Vanskavaig, Elsker and Saevermere and a more recent application was granted for a dwelling at Greenfield. For background information brief details of these are in the paragraphs 7.8.8. to 7.8.15. below.

7.8.8. Vanskavaig and Elsker

The adjacent dwellings at Vanskavaig and Elsker were approved under the same Outline Planning Consent 88/092/PPO on 12 July 1988, with subsequent full applications being approved for the individual houses under 88/291/PPF (granted subject to conditions on 9 September 1988) and 92/464/PPF (Elsker) which was granted with conditions on 27 May 1992. The paper files for the two later applications are archived; however, the Outline Consent (88/092/PPO) is available to view online.

7.8.9.

A note added to the decision notice of Outline Planning Consent (88/092/PPO) states "No further development on the land to the rear of Elmbank can take place after these two houses. The siting of the septic tank is a restricting factor to any further development." The approved site plan, below, shows that both houses were to connect to the septic tank to the rear of Elmbank. The land referred to and shown on the plan "as land to the rear of Elmbank" is the current application site. Taking this into consideration, the currently proposed development could not connect into the joint sewage system serving Vanskavaig and Elsker.



7.8.10. Saevermere

The adjacent property at Saevermere (then referred to as Drumlea Site 3) was approved 14 years ago under 04/655/PPF and assessed and determined under a previous local plan. A condition was attached to the approval states "That prior to the house hereby permitted being occupied and/or completed the bio-disc and outfall to below mean water springs shall be fully installed and brought into use. Reason: To ensure that the development is provided with a satisfactory drainage system that will not create problems for the surrounding properties." There is no indication on the Planning record that the system installed was for more than a single property.

7.8.11. Site at Greenfield

The most recent application for a house to be granted planning consent at Greenfield is 17/056/PP and is situated on land between the dwellings at Avalon, New Reekie and Kanlee. This application was assessed under both the 2014 Orkney Local

Development Plan, and the Emerging OLDP 2017, Proposed Plan (which was adopted on 18 April 2017). The application was approved by the Planning Committee on 29 March 2017.

7.8.12.

SEPA also objected to that proposal due to the site being within the settlement boundary and should connect to the public sewer. In that case, the site was further from the public sewer than the current application site and critically there were other material considerations that gave support to the use of a private sewerage system.

7.8.13.

The key material planning consideration was the recent site history; application 17/056/PP followed three previous planning applications (13/206/PP, 08/346/PPR and 07/653/PPR) for a house on the same site at Greenfield, all of which were granted planning permission and so the principle of a house on the site had been established. The final application, 17/056/PP, matched exactly the development approved under 13/206/PP.

7.8.14.

The previous OLDP 2014 allowed the connection to a temporary private system (provided that it was acceptable to SEPA) as an interim measure provided that any private system was *“designed and built to a standard to allow adoption by Scottish Water and...designed such that it can be satisfactorily connected to a public sewer in the future.”* It was on that basis that a private sewerage system was conditioned under 13/206/PP (and a similar system approved under 07/653/PPO and 08/346/PPR).

7.8.15.

A difference between the site at Greenfield (17/056/PP) and the current application is the absence of any such planning history, and therefore no such material weight to balance against the current policy and SEPA objections.

7.8.16.

The SEPA position regarding sewage disposal for development within the settlement boundaries has strengthened, and it has been a requirement since adoption of the OLDP 2017 that foul drainage in a settlement is connected to a public system unless a development meets the exemptions as indicated in Section 8.8.2, which the current application does not.

7.8.17.

Taking into account that the site is located within a cumulative drainage impact area where there are additional constraints regarding the disposal of sewage, the requirement to connect to the public sewer as set out in OLDP 2017 Policy 13C and as required by SEPA, the formal SEPA objection, the proximity of the public sewer to the site, Scottish Water's advice that there is capacity at the Kirkwall Waste Water Treatment Works and, distinct from neighbouring sites, the absence of planning history on the site, it is considered that the use of a private sewage system on the site would not comply with OLDP 2017 Policies 1 and 13C.

8. Conclusion

There is a presumption, in principle, for the development of new dwellings within the settlement boundaries under OLDP 2017 Policy 5A; however, all development must comply with all policies relevant to the application. The proposed development, is within a cumulative drainage impact area would not connect to the public sewer as required by the OLDP 2017. SEPA has objected to the application. The proposed private sewage system is not acceptable, and the development is contrary to Orkney Local Development Plan 2017 Policies 1 and 13C. There are no material considerations that would outweigh policy concerns.

9. Recommendation

Refuse for the following reason:

01. The site is located within a cumulative drainage impact area where there are additional constraints regarding the disposal of sewage. Orkney Local Development Plan 2017 policy 13C and SEPA require all development within the settlement boundaries to connect to the public sewer. A private system is proposed and SEPA has formally objected to the application. Due to the failure to connect to the public system, the development is contrary to Orkney Local Development Plan 2017 Policies 1 and 13C. There are no material considerations that would outweigh policy concerns.

Mrs Sue Doyle
Planning Officer
Date: 7th December 2018



Council Offices School Place Kirkwall KW15 1NY Tel: 01856 873 535 (ex 2504) Email: planning@orkney.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100137203-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of 1.5 story, 5 bedroom house with internal garage.

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Aeron	Building Number:	15
Last Name: *	Findlater	Address 1 (Street): *	The Mound
Company/Organisation		Address 2:	
Telephone Number: *	07715407806	Town/City: *	Kirkwall
Extension Number:		Country: *	Orkney
Mobile Number:		Postcode: *	KW15 1ZH
Fax Number:			
Email Address: *	aeronfindlater@googlemail.com		

Site Address Details

Planning Authority:	Orkney Islands Council
Full postal address of the site (including postcode where available):	
Address 1:	
Address 2:	
Address 3:	
Address 4:	
Address 5:	
Town/City/Settlement:	
Post Code:	

Please identify/describe the location of the site or sites

Northing	1012525	Easting	345925
----------	---------	---------	--------

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Site is located within the settlement area. Indicated design of proposed property is not dissimilar to other buildings. Consider potential privacy issues eg neighbours windows etc (no issues found). Foul drainage issue raised within Carness area, SEPA likely to reject non mains sewerage connection. Mains sewerage connection infeasible, potential to connect into neighbours existing private system outfall.

Title:

Mr

Other title:

Senior Planner

First Name:

David

Last Name:

Barclay

Correspondence Reference Number:

Date (dd/mm/yyyy):

24/08/2018

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

1100.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

No use of the site at present, site excavated to the hard a few years ago and filled with stone in preparation for potential dwelling.

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

0

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

3

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
- No – proposing to make private drainage arrangements
- Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? *

- New/Altered septic tank.
- Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).
- Other private drainage arrangement (such as chemical toilets or composting toilets).

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: *

Install high quality sewerage treatment plant with outlet connecting into neighbours existing treatment plant foul outlet, feeding directly to shore. Product brochure attached.

Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
- No, using a private water supply
- No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Waste and recycling bins would be stored within the internal garage. Allowing for easy access through the house.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

How many units do you propose in total? *

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Are you able to identify and give appropriate notice to ALL the other owners? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate B

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

I hereby certify that

(1) - No person other than myself/the applicant was an owner [Note 4] of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application;

or –

(1) - I have/The Applicant has served notice on every person other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application was owner [Note 4] of any part of the land to which the application relates.

Name:

Ms Sarah Wylie

Address:

Solsiden, Sunnyside, Old Finstown Road, St Ola, Scotland, KW15 1TR

Date of Service of Notice: *

05/10/2018

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding;

or –

(2) - The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have/the applicant has served notice on every person other than myself/himself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant. These persons are:

Name:

[Empty text box for Name]

Address:

[Empty text box for Address]

Date of Service of Notice: *

[Empty text box for Date of Service of Notice]

Signed:

Mr Aeron Findlater

On behalf of:

Date:

06/10/2018

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

- Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

- Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

- Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

- Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

- Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

- Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

- Word document with explanation of sewerage situation - Proposed sewerage treatment plant brochure - Scottish water mains sewerage location plan - Email correspondence with SEPA

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Provide copies of the following documents if applicable:

- A copy of an Environmental Statement. * Yes N/A
- A Design Statement or Design and Access Statement. * Yes N/A
- A Flood Risk Assessment. * Yes N/A
- A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * Yes N/A
- Drainage/SUDS layout. * Yes N/A
- A Transport Assessment or Travel Plan Yes N/A
- Contaminated Land Assessment. * Yes N/A
- Habitat Survey. * Yes N/A
- A Processing Agreement. * Yes N/A

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Aeron Findlater

Declaration Date: 06/10/2018

Payment Details

Online payment: 982765
Payment date: 06/10/2018 22:49:00

Created: 06/10/2018 22:49



24



SIMPLE, RELIABLE & DISCREET

Compact wastewater treatment plant



25

More than 40,000 installations worldwide

Our WPL Diamond small package wastewater treatment plant is suitable for domestic and commercial properties in all ground conditions where mains drainage is unavailable.

Designed not only to give you the highest quality product on the market, but also to provide you with a discreet, efficient and cost-effective solution for the longevity of the plant.

Trusted network

- Our trusted network of independent experts can offer professional advice on project specifications, compliance and guidelines; whilst providing installation, service and maintenance.

Illustration not to scale



WPL's Promise

WPL has been at the forefront of wastewater treatment for over 25 years; understanding your need for a high quality, easy to maintain and discreet product.



Simple

Whilst highly innovative, WPL Diamond is simple:

- Our efficient plant has the added advantage of a high quality process which is compact in design, keeping the excavation to a minimum and installation simple, with little disruption.
- Boasting a reduced sludge growth rate due to our highly efficient aeration process which breaks down organic matter and results in longer emptying cycles.



Reliable

We strive to continually improve product design, development and manufacturing processes; this is backed by our commitment to engineering excellence:

- Built in the UK, the robust WPL Diamond comes with 25 years tank warranty and 2 years warranty on the blowers (housed in the kiosk)*.
- Economical to run, with no internal electrical or mechanical moving parts. This means that the wastewater treatment plant requires minimal annual maintenance.
- Our high level of expertise providing wastewater solutions means that we offer all of our customers, from the individual home owner to the large municipal communities, the same robust process that is also environmentally compliant.
- We have a recommended list of independent experts who can install, service and maintain your WPL Diamond.

**YOU WOULDN'T EVEN
KNOW IT'S THERE !**

**Minimal maintenance, odourless
and the flushiest lid on the market.**

Discover more at www.wplltd.com



Discreet

Installed out of sight and out of mind:

- Our WPL Diamond plant is odourless so you won't even know it's there!*
- Lids are the flushest to the ground, creating perfect integration in to the landscape.



Compliant

Meets the following standards and codes of practice:

- Fully tested, accredited and certified under European Standard BS EN12566-3 2014 approval which allows a CE mark.
- Meets consent standards of 20mg/l BOD; 30mg/l SS; 20mg/l NH₄ as a minimum.
- Meets current Binding Rules legislation for exemption from a permit to discharge by the Environmental Agency.
- Fully compliant with Part H2 UK of building regulations.
- LABC registered.
- Designed using the British Water Code of Practice Flows and Loads, to ensure that the tank is correctly sized.

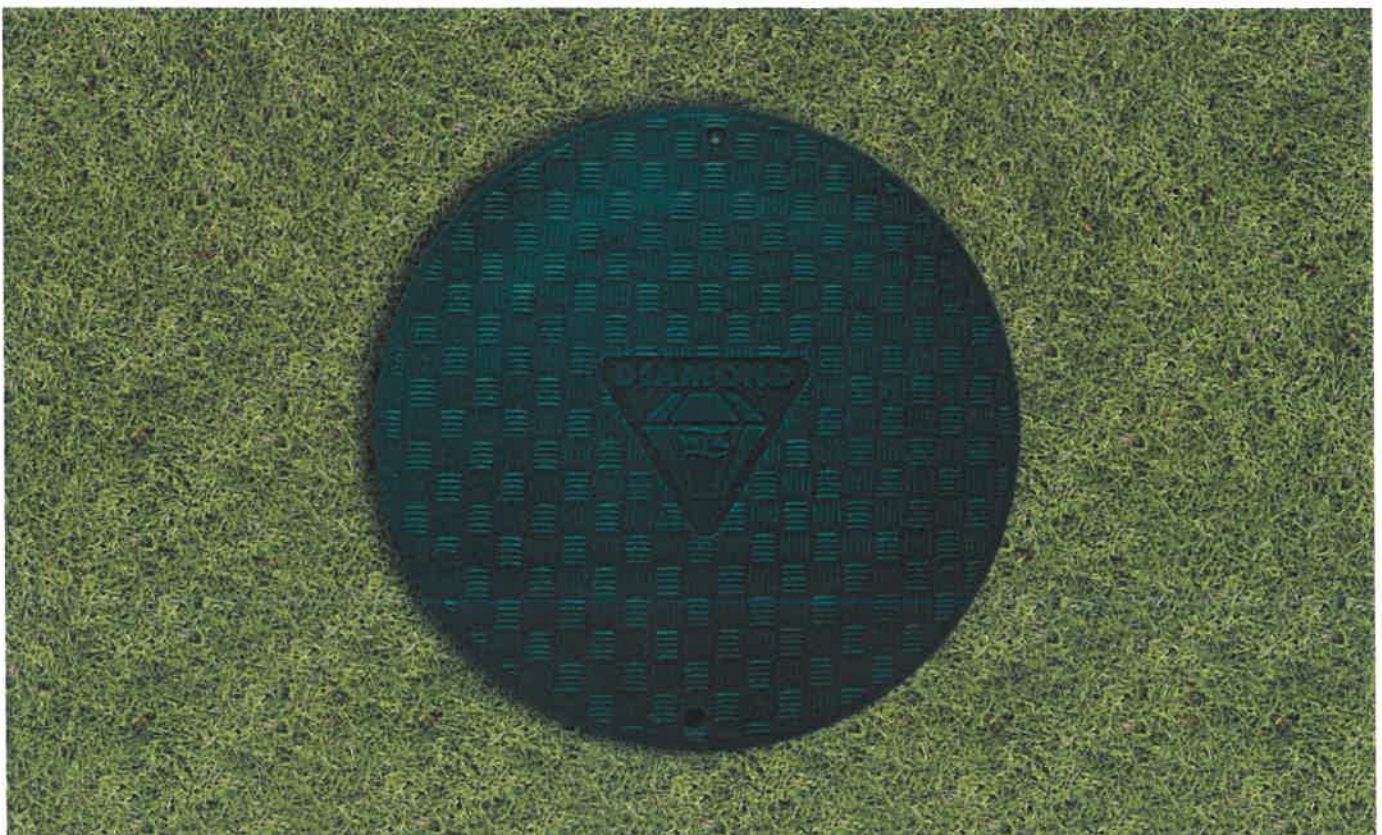


Environmental

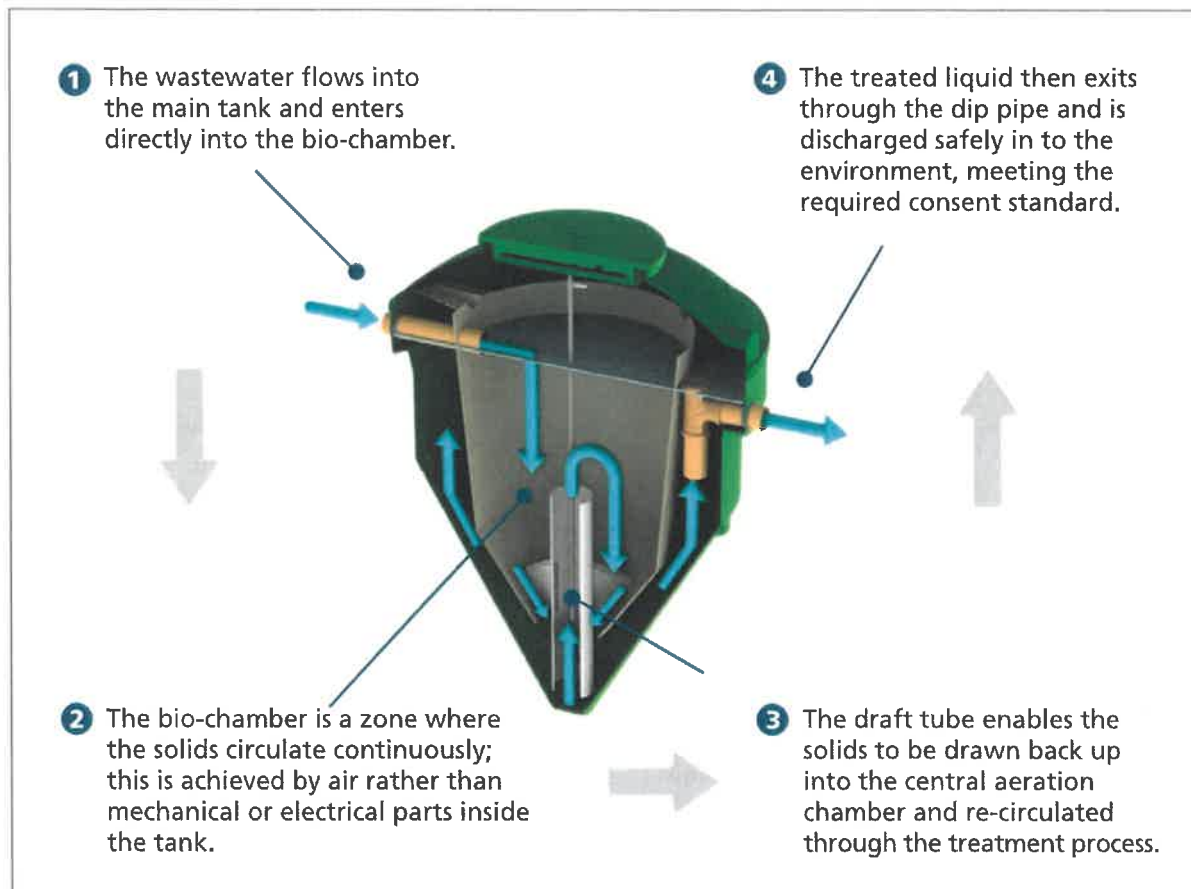
Adheres to Environment Agency approved levels:

- Our tank has no need for additional chemicals, helping towards a sustainable future.
- Due to its compact design, the WPL Diamond tank has the smallest footprint size on the market.

*subject to correct installation, consistent influent conditions and regular plant maintenance as per the manufacturers' instructions



Simple and reliable operation



Loadings

Model	DMS2	DMS3	DMS4	DMS5	DMC6	DMC7	DMC8	DMC9
Population range (persons)	1-6	5-11	10-15	14-20	21-27	28-35	36-45	46-55
Blower motor size (kw)*	0.080	0.090	0.160	0.230	0.230	0.221	0.221	0.221
Total power consumption	0.080	0.090	0.160	0.230	0.460	0.663	0.663	0.663

*Actual power consumption may vary (dependent on motor efficiency and nature of installation), size stated is motor size NOT actual power consumption. Blower options available on request.

Dimensions

Model	Max outside diameter (m)	*Inlet invert depth (mm)	Max height/ in ground depth (m)	Weight empty (kg)
DMS2	1.74	630	2.33	155
DMS3	1.96	760	2.59	192
DMS4	1.99	780	2.78	210
DMS5	1.99	780	2.78	210
DMC6	3.30	570	3.35	380
DMC7	3.30	570	3.35	380
DMC8	3.30	580	3.72	460
DMC9	3.30	580	3.72	460

* Deeper inverts can be accommodated with our range of standard invert extensions.
All dimensions +/- 3% tolerance.

Rule changes may force septic tank upgrades

Revised regulations in England for septic tanks discharging to watercourses will be introduced from the 1st January 2020 (or before if your selling your property).

Unlike traditional septic tanks, modern package wastewater (sewage) treatment plants are designed for today's increased volume of water usage in everyday life. Our WPL Diamond has the added advantage of a high quality process for wastewater treatment, in a compact, single tank which is easy to install and maintain.

The WPL Diamond package wastewater treatment plant has more discharge options and is therefore an ideal replacement.



Internet: www.wplltd.com
Email: info@wplltd.com
Tel: +44 (0) 23 9224 2600

Address: **Head Office**

WPL Limited
Unit 1 Aston Road
Waterlooville
Hampshire
PO7 7UX
UK

WPL independent expert:



Disclaimer

WPL Limited registered in England & Wales NI 2583411 VAT No. 568 3801 15. WPL Limited has a policy of continual product development and the above information may be subject to change without notice. WPL Limited is fully compliant with the British Water Code of Practice. WPL Ltd reserve the right to change specifications in line with company policy of improvement through research and development. Errors and omissions excepted. Models shown in this brochure may include additional cost options that are not part of the standard specification.

PRODUCT NAME

EHBX-CB / ERLQ-CV3

Heating capacity

Min.

Nom.

Max.

Cooling capacity

Min.

Nom.

Power input

Heating

Cooling

COP

EER

Pump

Nominal ESP unit

Water side Heat exchanger

Water flow rate

General

LW(A) Sound power level (according to EN14825)

Space heating general

LW(A) Sound power level (according to EN14825)

Outdoor

Air to water unit

Other

Integrated supplementary heater

Space heating

Average climate water outlet 55°C

Cold climate water outlet 55°C

Warm climate water outlet 55°C

Average climate water outlet 35°C

Cold climate water outlet 35°C

Warm climate water outlet 35°C

Notes

Space heating general

Space heating

Other

Integrated supplementary heater
Average climate water outlet 35°C

Average climate water outlet 55°C

General

Sound condition Ecodesign and energy label
Notes

Supplier/Manufacturer details
Product description

	Nom.
	Max.
	Nom.
Cooling	Cooling
Heating	Heating
	Nom.
	Nom.
	Indoor
General	Rated airflow (outdoor)
	Pck (Crankcase heater mode)
	Poff (Off mode)
	Psb (Standby mode)
	Pto (Thermostat off)
	NOx emission
	Psup
	SCOP
	Annual energy consumption
	η_s (Seasonal space heating efficiency)
	Prated at -10°C
	Qhe Annual energy consumption (GCV)
	Seasonal space heating eff. class
A Condition (-7°CDB/-8°CWB)	Pdh
	PERd
B Condition (2°CDB/1°CWB)	Pdh
	PERd
C Condition (7°CDB/6°CWB)	Pdh
	PERd
D Condition (12°CDB/11°CWB)	Pdh
	PERd
Tol (temperature operating limit)	Pdh
	PERd
	TOL
	WTOL
Rated heat output supplementary capacity	Psup (at Tdesign -10°C)
Tbiv (bivalent temperature)	Pdh
	PERd
	Tbiv
General	Annual energy consumption

	η_s (Seasonal space heating efficiency) Prated at -22°C Qhe Annual energy consumption (GCV) Annual energy consumption
General	η_s (Seasonal space heating efficiency) Prated at 2°C Qhe Annual energy consumption (GCV)
General	SCOP Annual energy consumption η_s (Seasonal space heating efficiency) Prated at -10°C Qhe Annual energy consumption (GCV)
A Condition (-7°CDB/-8°CWB)	Seasonal space heating eff. class Pdh PERd
B Condition (2°CDB/1°CWB)	Pdh PERd
C Condition (7°CDB/6°CWB)	Pdh PERd
D Condition (12°CDB/11°CWB)	Pdh PERd
Toi (temperature operating limit)	Pdh PERd TOL WTOL
Tbiv (bivalent temperature)	Pdh PERd Tbiv
Rated heat output supplementary capacity General	Psup (at Tdesign -10°C) Annual energy consumption η_s (Seasonal space heating efficiency) Prated at -22°C
General	Qhe Annual energy consumption (GCV) Annual energy consumption η_s (Seasonal space heating efficiency) Prated at 2°C Qhe Annual energy consumption (GCV)

- A Condition (-7°CDB/-8°CWB)
- C Condition (7°CDB/6°CWB)
- D Condition (12°CDB/11°CWB)
- General
- B Condition (2°CDB/1°CWB)
- Tbiv (bivalent temperature)
- Toi (temperature operating limit)

35

A Condition (-7°CDB/-8°CWB)
Tbiv (bivalent temperature)
Tol (temperature operating limit)
General
B Condition (2°CDB/1°CWB)
C Condition (7°CDB/6°CWB)
D Condition (12°CDB/11°CWB)

kW
kW
kW
kW
kW
kW
kW

kPa
kPa
l/min
l/min
dB(A)
dB(A)
m³/h
kW
kW
kW
kW
mg/kWh
kW

kWh
%
kW
Gj

kW
%
kW
%
kW
%
kW
%
kW
%
°C
°C
kW
kW
%
°C
kWh

%
kW
Gj
kWh
%
kW
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kWh
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°C
°C
kW
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°C
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Gj
kWh
%
kW
Gj

Capacity control
Type of energy input
COPd
COPd
COPd
Seasonal space heating eff. class
COPd
COPd
COPd

COPd
COPd
COPd
Seasonal space heating eff. class
COPd
COPd
COPd
Name and address
Low-temperature heat pump

EBX04CB3V / ERLQ004CAV3

- 1.80 (1)
- 4.40 (1), 4.03 (2)
- 5.12 (1), 4.90 (2)
- 2.00 (1), 2.00 (2)
- 4.08 (1), 4.17 (2)
- 0.870 (1), 1.13 (2)

- 0.900 (1), 1.80 (2)
- 5.04 (1), 3.58 (2)
- 4.55 (1), 2.32 (2)

3.20

A++

4.52

A++

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

(41)

EHBX08CB3V / ERLQ006CAV3

1.80 (1)
6.00 (1), 5.67 (2)
8.35 (1), 7.95 (2)
2.50 (1), 2.50 (2)
5.88 (1), 4.84 (2)
1.27 (1), 1.59 (2)

1.51 (1), 2.07 (2)
4.74 (1), 3.56 (2)
3.89 (1), 2.34 (2)

3.22

A++

4.29

A++

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

45

EBX08CB9W / ERLQ006CAV3

1.80 (1)
6.00 (1), 5.67 (2)
8.35 (1), 7.95 (2)
2.50 (1), 2.50 (2)
5.88 (1), 4.84 (2)
1.27 (1), 1.59 (2)

1.51 (1), 2.07 (2)
4.74 (1), 3.56 (2)
3.89 (1), 2.34 (2)

3.22

A++

4.29

A++

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

EHBX08CB9W / ERLQ008CAV3

1.80 (1)
7.40 (1), 6.89 (2)
10.0 (1), 9.53 (2)
2.50 (1), 2.50 (2)
6.20 (1), 5.36 (2)
1.66 (1), 2.01 (2)

1.64 (1), 2.34 (2)
4.45 (1), 3.42 (2)
3.79 (1), 2.29 (2)

3.20

A++

4.34

A++

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

51

EBX08CB3V / ERLQ08CAV3

1.80 (1)

7.40 (1), 6.89 (2)

10.0 (1), 9.53 (2)

2.50 (1), 2.50 (2)

6.20 (1), 5.36 (2)

1.66 (1), 2.01 (2)

1.64 (1), 2.34 (2)

4.45 (1), 3.42 (2)

3.79 (1), 2.29 (2)

3.20

A++

4.34

A++

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

53

EHBX11CB9W / ERLQ011CAV3

11.2 (1), 11.0 (2)
8.60 (3), 8.60 (4)

12.1 (1), 11.7 (2)
2.43 (1), 3.10 (2)
3.13 (3), 4.10 (4)
3.05 (1), 4.31 (2)

33.0 (5), 3.00 (6)
37.0 (7), 39.0 (8)
33.6 (5), 43.1 (6)
32.1 (7), 31.5 (8)

41.0
64.0
5,400
0.055
0.055
0.055
0.057
0.00
9.00

6,260
120
9.99
22.6

8.83
79.6
5.28
130
4.47
172
5.37
256
9.08
71.6
-10.0
55.0
0.910
8.83
79.6
-7.00
6,740

SS

95.0
6.99
24.3
2,630
125
7.58
9.47

5,380
156
11.2
19.4

8.88
105
6.03
162
5.74
271
6.50
359
8.76
93.6
-10.0
35.0
9.09
113
-5.00
2.44
6,430
148
10.3
23.1
1,950
192
9.06
7.02

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00

Electrical

2.63

0.940

0.920

3.98

1.00

2.82

2.34

1.00

1.99

1.79

3.09

1.00

0.950

0.930

Daikin Europe N.V.

No

3.98 (1), 2.72 (2)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

(57)

EHBX11CB3V / ERLQ011CAV3

11.2 (1), 11.0 (2)
8.60 (3), 8.60 (4)

12.1 (1), 11.7 (2)
2.43 (1), 3.10 (2)
3.13 (3), 4.10 (4)
3.05 (1), 4.31 (2)

33.0 (5), 3.00 (6)
37.0 (7), 39.0 (8)
33.6 (5), 43.1 (6)
32.1 (7), 31.5 (8)

41.0
64.0
5,400
0.055
0.055
0.055
0.057
0.00
3.00

6,260
120
9.99
22.6

8.83
79.6
5.28
130
4.47
172
5.37
256
9.08
71.6
-10.0
55.0
0.910
8.83
79.6
-7.00
6,740

95.0
6.99
24.3
2,630
125
7.58
9.47

5,380
156
11.2
19.4

8.88
105
6.03
162
5.74
271
6.50
359
8.76
93.6
-10.0
35.0
9.09
113
-5.00
2.44
6,430
148
10.3
23.1
1,950
192
9.06
7.02

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00
Electrical
2.63
0.940
0.920
3.98
1.00
2.82
2.34

59

1.00

1.99

1.79

3.09

1.00

0.950

0.930

Daikin Europe N.V.

No

3.98 (1), 2.72 (2)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

EHBX16CB3V / ERLQ014CAV3

14.5 (1), 13.6 (2)
10.6 (3), 10.8 (4)

12.7 (1), 12.6 (2)
3.37 (1), 4.10 (2)
4.00 (3), 5.19 (4)
3.21 (1), 5.08 (2)

64.0 (5), 32.0 (6)
49.0 (7), 57.0 (8)
36.0 (5), 46.0 (6)
41.6 (7), 39.0 (8)

44.0
64.0
5,400
0.055
0.055
0.055
0.057
0.00
3.00

7,900
123
12.7
28.4

9.97
70.4
6.76
142
4.66
169
5.26
218
12.2
70.0
-10.0
55.0
0.550
11.0
76.8
-6.00
7,870

61

95.5
8.15
28.3
3,270
135
9.84
11.8

7,250
153
14.5
26.1

10.7
105
7.71
163
5.05
228
5.16
268
12.6
104
-10.0
35.0
11.6
113
-5.00
1.93
8,170
141
12.3
29.4
2,350
199
10.9
8.46

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00

Electrical

2.63

1.00

0.930

3.90

1.00

2.83

2.60

1.00
1.92
1.75
3.16
1.00
0.950
0.940

Daikin Europe N.V.
No
3.96 (1), 2.47 (2)
DB/WB 7°C/6°C - LWC 35°C (DT=5°C)
DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

63

EBX16CB9W / ERLQ014CAV3

14.5 (1), 13.6 (2)
10.6 (3), 10.8 (4)

12.7 (1), 12.6 (2)
3.37 (1), 4.10 (2)
4.00 (3), 5.19 (4)
3.21 (1), 5.08 (2)

64.0 (5), 32.0 (6)
49.0 (7), 57.0 (8)
36.0 (5), 46.0 (6)
41.6 (7), 39.0 (8)

44.0
64.0
5,400
0.055
0.055
0.055
0.057
0.00
9.00

7,900
123
12.7
28.4

9.97
70.4
6.76
142
4.66
169
5.26
218
12.2
70.0
-10.0
55.0
0.550
11.0
76.8
-6.00
7,870

95.5
8.15
28.3
3,270
135
9.84
11.8

7,250
153
14.5
26.1

10.7
105
7.71
163
5.05
228
5.16
268
12.6
104
-10.0
35.0
11.6
113
-5.00
1.93
8,170
141
12.3
29.4
2,350
199
10.9
8.46

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00

Electrical

2.63

1.00

0.930

3.90

1.00

2.83

2.60

65

1.00

1.92

1.75

3.16

1.00

0.950

0.940

Daikin Europe N.V.

No

3.96 (1), 2.47 (2)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

EHBX16CB9W / ERLQ016CAV3

16.0 (1), 15.2 (2)
11.4 (3), 10.9 (4)

13.8 (1), 13.1 (2)
3.76 (1), 4.66 (2)
4.32 (3), 5.22 (4)
3.74 (1), 5.73 (2)

61.0 (5), 23.0 (6)
33.0 (7), 42.0 (8)
37.6 (5), 48.0 (6)
45.9 (7), 43.6 (8)

44.0
66.0
5,400
0.055
0.055
0.055
0.057
0.00
9.00

8,970
119
13.9
32.3

12.2
71.2
7.61
125
4.83
176
5.38
254
13.3
68.4
-10.0
55.0
0.580
12.2
71.2
-7.00
8,580

67

98.3
9.12
30.9
3,420
136
10.3
12.3

8,270
149
16.0
29.8

12.4
93.2
8.62
150
5.74
271
6.50
359
11.7
82.0
-10.0
35.0
12.1
102
-4.00
4.35
9,050
137
13.3
32.6
2,480
199
11.4
8.92

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00

Electrical

2.33

0.940

0.920

3.80

1.00

2.56

2.05

1.00

1.78

1.71

3.06

1.00

1.00

0.930

Daikin Europe N.V.

No

3.69 (1), 2.29 (2)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

69

EHBX16CB3V / ERLQ016CAV3

16.0 (1), 15.2 (2)
11.4 (3), 10.9 (4)

13.8 (1), 13.1 (2)
3.76 (1), 4.66 (2)
4.32 (3), 5.22 (4)
3.74 (1), 5.73 (2)

61.0 (5), 23.0 (6)
33.0 (7), 42.0 (8)
37.6 (5), 48.0 (6)
45.9 (7), 43.6 (8)

44.0
66.0
5,400
0.055
0.055
0.055
0.057
0.00
3.00

8,970
119
13.9
32.3

12.2
71.2
7.61
125
4.83
176
5.38
254
13.3
68.4
-10.0
55.0
0.580
12.2
71.2
-7.00
8,580

98.3
9.12
30.9
3,420
136
10.3
12.3

8,270
149
16.0
29.8

12.4
93.2
8.62
150
5.74
271
6.50
359
11.7
82.0
-10.0
35.0
12.1
102
-4.00
4.35
9,050
137
13.3
32.6
2,480
199
11.4
8.92

Condition 1: cooling Ta 35°C - LWE 18°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition 2: cooling Ta 35°C - LWE 7°C (DT = 5°C); heating Ta DB/WB 7°C/6°C - LWC 45°C (DT = 5°C)

Condition 3: heating Ta DB -7°C (RH85%) - LWC 35°C

Condition 4: heating Ta DB -7°C (RH85%) - LWC 45°C

Tamb 35°C - LWE 7°C (DT=5°C)

Tamb 35°C - LWE 18°C (DT=5°C)

1.00

Electrical

2.33

0.940

0.920

3.80

1.00

2.56

2.05

71

1.00

1.78

1.71

3.06

1.00

1.00

0.930

Daikin Europe N.V.

No

3.69 (1), 2.29 (2)

DB/WB 7°C/6°C - LWC 35°C (DT=5°C)

DB/WB 7°C/6°C - LWC 45°C (Dt=5°C)

PRODUCT NAME ERLQ-CV3

Dimensions	Unit	Height	mm
		Width	mm
		Depth	mm
Weight	Unit		kg
Operation range	Cooling	Min.	°CDB
		Max.	°CDB
	Domestic hot water	Min.	°CDB
		Max.	°CDB
Sound power level	Heating	Nom.	dBA
	Cooling	Nom.	dBA
Sound pressure level	Heating	Nom.	dBA
	Cooling	Nom.	dBA
Refrigerant	Type		
	GWP		
	Charge		TCO2Eq
	Charge		kg
Piping connections	Liquid	OD	mm
	Gas	OD	mm
	Drain	OD	mm
	Level difference	IU - OU	Max. m
	Heat insulation		
Power supply	Name		
	Phase		
	Frequency		Hz
	Voltage		V
Current	Recommended fuses		A
Notes			

73

ERLQ004CAV3

735
832
307
54
10.0
43.0
-25 (2)
35 (2)
61
63
48 (3)
48 (3)
R-410A
2,087.5
3.1
1.5
6.35
15.90
1x ϕ 15 + 1x ϕ 20
20.0
Both liquid and gas pipes
V3
1~
50
230
16

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.
ge domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for op
ophone at a certain distance from the unit. It is a relative value depending on the distance and acoustic environment. Refer to
Daikin Altherma inverter controlled compressor starting current always \leq max. running current
Contains fluorinated greenhouse gases

ERLQ006CAV3

735

832

307

56

10.0

43.0

-25 (2)

35 (2)

61

63

48 (3)

49 (3)

R-410A

2,087.5

3.3

1.6

6.35

15.90

1x \varnothing 15 + 1x \varnothing 20

20.0

Both liquid and gas pipes

V3

1~

50

230

16

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.
range domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.
noise level (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.
operation at a certain distance from the unit. It is a relative value depending on the distance and acoustic environment. Refer to separate drawing for operation range.

Daikin Altherma inverter controlled compressor starting current always \leq max. running current

Contains fluorinated greenhouse gases

75

ERLQ008CAV3

735
832
307
56
10.0
43.0
-25 (2)
35 (2)
62
63
49 (3)
50 (3)
R-410A
2,087.5
3.3
1.6
6.35
15.90
1x \varnothing 15 + 1x \varnothing 20
20.0
Both liquid and gas pipes
V3
1~
50
230
20

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.
Operation range domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.
Sound power level (outdoor unit): value at 1m distance from the unit. It is a relative value depending on the distance and acoustic environment. Refer to the separate drawing for operation range.
Daikin Altherma inverter controlled compressor starting current always \leq max. running current
Contains fluorinated greenhouse gases

ERLQ011CAV3

1,345

900

320

113

10.0

46.0

-20 (2)

35 (2)

64 (3)

64 (4)

51 (5)

50 (5)

R-410A

2,087.5

7.1

3.4

9.52

15.90

26

30.0

Both liquid and gas pipes

V3

1~

50

230

40

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.
 Heating domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.

Condition: Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition: Ta 35°C - LWE 7°C (DT = 5°C)

Sound power level (outdoor unit): sound power level at a certain distance from the unit. It is a relative value depending on the distance and acoustic environment. Refer to separate drawing for operation range.

Contains fluorinated greenhouse gases

77

ERLQ014CAV3

1,345

900

320

113

10.0

46.0

-20 (2)

35 (2)

64 (3)

66 (4)

51 (5)

52 (5)

R-410A

2,087.5

7.1

3.4

9.52

15.90

26

30.0

Both liquid and gas pipes

V3

1~

50

230

40

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.

Operation range domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.

Condition: Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition: Ta 35°C - LWE 7°C (DT = 5°C)

Sound power level (outdoor unit): sound power level at a certain distance from the unit. It is a relative value depending on the distance and acoustic environment. Refer to separate drawing for sound power level.

Contains fluorinated greenhouse gases

ERLQ016CAV3

1,345

900

320

113

10.0

46.0

-20 (2)

35 (2)

66 (3)

69 (4)

52 (5)

54 (5)

R-410A

2,087.5

7.1

3.4

9.52

15.90

26

30.0

Both liquid and gas pipes

V3

1~

50

230

40

Operation range heating (outdoor unit): range increase by support back-up heater. See separate drawing for operation range.
 Operation range domestic hot water (outdoor unit): range increase by support booster heater or backup heater. See separate drawing for operation range.

Condition: Ta DB/WB 7°C/6°C - LWC 35°C (DT = 5°C)

Condition: Ta 35°C - LWE 7°C (DT = 5°C)

Sound power level (outdoor unit): sound power level (outdoor unit) is a relative value depending on the distance and acoustic environment. Refer to the sound power level table for the outdoor unit.

Contains fluorinated greenhouse gases

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sound spectrum drawing for more information.



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Neighbour Notification List

From the 3rd August 2009 the responsibility for Neighbour Notification transferred from the applicant to Orkney Islands Council. The Council will send out Notices to those having an interest in land coterminous with or within 20 metres of the boundary of the land for which development is proposed. Where there are no premises on this land and where the Council is unable to identify a relevant address to which notification can be sent, it will advertise this in the local press.

Below is a list of the properties notified for this application.

Application Number 18/419/PP

- Vanskavaig, Carness Road, St Ola, Orkney Islands, KW15 1UE
- Saevermere, Carness Road, St Ola, Orkney Islands, KW15 1UE

Number of neighbours notified: 2

Consultee List

Application Number 18/419/PP

- Roads Services
- Scottish Water
- Planning Unit (North Region) SEPA – Private waste water system within settlement
- Environmental Health

22nd October 2018

Orkney Islands Council
Council Building School Place
Kirkwall
KW15 1NY



Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Stepps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk

Dear Local Planner

**KW15 St Ola Vanskavaig Land Near
PLANNING APPLICATION NUMBER: 18/419/PP
OUR REFERENCE: 768247
PROPOSAL: Erect a house with an integral garage and air source heat pump**

Please quote our reference in all future correspondence

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced and would advise the following:

Water

- This proposed development will be fed from Kirbister Water Treatment Works. Unfortunately, Scottish Water is unable to confirm capacity at this time so to allow us to fully appraise the proposals we suggest that the applicant completes a Pre-Development Enquiry (PDE) Form and submits it directly to Scottish Water. The applicant can download a copy of our PDE Application Form, and other useful guides, from Scottish Water's website at the following link
www.scottishwater.co.uk/business/connections/connecting-your-property/new-development-process-and-applications-forms/pre-development-application

Foul

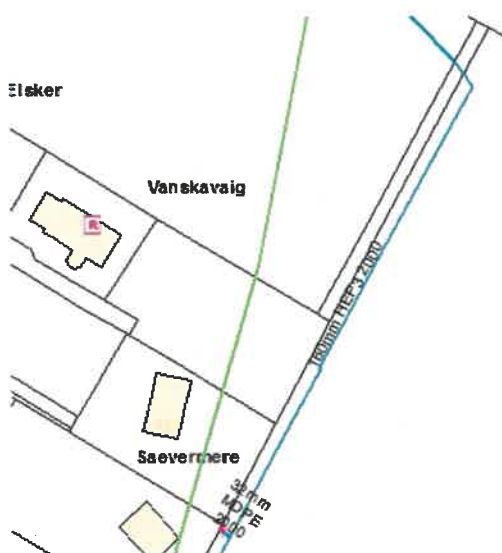
- There is currently sufficient capacity in the Kirkwall Waste Water Treatment Works. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission

has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Abandoned Infrastructure within Site

Scottish Water records appear to show abandoned water infrastructure within your site. Please note that Scottish Water records are indicative only and your attention is drawn to the disclaimer at the bottom of this letter. If the infrastructure requires to be removed to allow your works to proceed please contact the Scottish Water Asset Impact Team using the email address below for guidance prior to commencing the works.



Scottish Water Disclaimer

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not normally accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity

with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- **Scottish Water asset plans can be obtained from our appointed asset plan providers:**

Site Investigation Services (UK) Ltd
Tel: 0333 123 1223
Email: sw@sisplan.co.uk
www.sisplan.co.uk

- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area then they should write to the Customer Connections department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.
- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
- **Please find all of our application forms on our website at the following link <https://www.scottishwater.co.uk/business/connections/connecting-your-property/new-development-process-and-applications-forms>**

Next Steps:

- **Single Property/Less than 10 dwellings**

For developments of less than 10 domestic dwellings (or non-domestic equivalent) we will require a formal technical application to be submitted directly to Scottish Water or via the chosen Licensed Provider if non domestic, once full planning permission has been granted. Please note in some instances we will require a Pre-Development Enquiry Form to be submitted (for example rural location which are

deemed to have a significant impact on our infrastructure) however we will make you aware of this if required.

- **10 or more domestic dwellings:**

For developments of 10 or more domestic dwellings (or non-domestic equivalent) we require a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

- **Non Domestic/Commercial Property:**

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened up to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

- **Trade Effluent Discharge from Non Dom Property:**

Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and launderettes. Activities not covered include hotels, caravan sites or restaurants.

If you are in any doubt as to whether or not the discharge from your premises is likely to be considered to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found using the following link <https://www.scottishwater.co.uk/business/our-services/compliance/trade-effluent/trade-effluent-documents/trade-effluent-notice-form-h>

Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.

For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas so the development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units

that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

If the applicant requires any further assistance or information, please contact our Development Operations Central Support Team on 0800 389 0379 or at planningconsultations@scottishwater.co.uk.

Yours sincerely

Angela Allison
Angela.Allison@scottishwater.co.uk

DEVELOPMENT AND INFRASTRUCTURE

Executive Director: Gavin Barr, BSc Hons, MSc URP, MRTPI
Council Offices, Kirkwall, Orkney, KW15 1NY

Tel: 01856 873535 Website: www.orkney.gov.uk
Email: Sue.Doyle@orkney.gov.uk



5th November 2018

Mr Aeron Findlater
15 The Mound
Kirkwall
Orkney
KW15 1ZH

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Dear Mr Aeron Findlater,

Ref No: 18/419/PP
Type: Planning Permission
Location: Vanskavaig (Land Near), Carness, St Ola, Orkney
Proposal: Erect a house with an integral garage and air source heat pump

With regard to your above planning application, it is advised you that a consultation response has been received from Scottish Water regarding infrastructure within the site. **This letter is for your information.**

The full response from Scottish Water (including the map) is available to view on the online planning file for this application (available to view on the Council's website at www.orkney.gov.uk and by following the links to search for a planning application). It is recommended that you have a look at the map provided in the Scottish Water consultation response showing the pipe crossing the site to ascertain whether it would be likely to have an impact upon your proposal.

Scottish Water state the following:

"Abandoned Infrastructure within Site

Scottish Water records appear to show abandoned water infrastructure within your site. Please note that Scottish Water records are indicative only and your attention is drawn to the disclaimer at the bottom of this letter. If the infrastructure requires to be removed to allow your works to proceed please contact the Scottish Water Asset Impact Team using the email address below for guidance prior to commencing the works.

Scottish Water Disclaimer

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

The contact details for the Asset Impact Team is: service.relocation@scottishwater.co.uk.

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If the applicant requires any further assistance or information, please contact our Development Operations Central Support Team on 0800 389 0379 or at: planningconsultations@scottishwater.co.uk ”

I trust that this is of some assistance to you.

Yours sincerely

Mrs Sue Doyle
Planning Officer

18/419/PP | Erect a house with an integral garage and air source heat pump | Vanskavaig (Land Near), Carness, St Ola, Orkney

Having considered the information provided by the applicant Environmental Health recommend the following condition:-

Total noise from the Air Source Heat Pump(s) installed shall not exceed NR25 within any residential property outwith the development, where NR25 is the Noise Rating Curve at 25, (noise measurements to be made with a window of any residential property outwith the development open no more than 50 mm.)

Reason: to protect any nearby residents from excessive noise disturbance from the air source heat pumps.

Paul

Paul Turner
Environmental Health Officer
Development and Infrastructure
Orkney Islands Council
School Place
KIRKWALL
Orkney.
KW15 1NY



Scottish Environment
Protection Agency

Buidheann Dion
Àrainneachd na h-Alba

Our ref: PCS/161820

Your ref: 18/419/PP

If telephoning ask for:
Clare Pritchett

8 November 2018

Sue Doyle
Orkney Islands Council
Department of Development Services
Council Offices
School Place
Kirkwall
KW15 1NY

By email only to: planningconsultation@orkney.gov.uk

Dear Ms Doyle

Town and Country Planning (Scotland) Acts
Planning application: 18/419/PP
Erect a house
Vanskavaig (Land Near), Carness, St Ola, Orkney

Thank you for your consultation email specifically requesting our advice on proposed private foul drainage within the settlement boundary which SEPA received on 18 October 2018.

Advice for the planning authority

We **object** to this planning application unless the **modification** in Section 1.2 can be accommodated. Please also note the advice provided below.

1. Foul Drainage

- 1.1 We note that the proposed house is within the settlement boundary identified in the local development plan and the public sewer is nearby (in the adjacent housing development). Disposal of foul drainage should always be to the public sewer where practical.
- 1.2 We therefore **object** to the proposed private foul drainage system and request that the proposed development is connected to mains drainage/public sewer. If appropriate this matter could be addressed by a **condition** attached to any grant of planning consent.

Regulatory advice for the applicant

2. Regulatory requirements

- 2.1 SEPA must ensure that any discharge is appropriately regulated to provide an adequate level of environmental protection. The existing public sewer in Carness is part of the Kirkwall sewage network. Treatment is at the Head of Work WWTW and this discharges



Chairman
Bob Downes

Chief Executive
Terry A'Hearn

SEPA Aberdeen Office

Inverdee House, Baxter Street
Torry, Aberdeen AB11 9QA

Tel 01224 266600 fax 01224 896657

www.sepa.org.uk • customer enquiries 03000 99 66 99

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into very dispersive waters quite a few miles from the town. The waters in the vicinity of Carness are unlikely to be so dispersive. Any private discharge must meet an appropriate level of treatment that would be equal to or better than that provided by the public system in order to protect the water environment. SEPA may therefore refuse a CAR authorisation for a private discharge to the Bay of Carness if it is considered less sustainable and efficient. Reference should be made to Regulatory Method (WAT-RM-03)

- 2.1 Details of regulatory requirements and good practice advice for the applicant can be found on the [Regulations section](#) of our website. If you are unable to find the advice you need for a specific regulatory matter, please contact a member of the regulatory services team in your local SEPA office.

If you have any queries relating to this letter, please contact me by telephone on 01224 266609 or e-mail at planning.aberdeen@sepa.org.uk.

Yours sincerely

Clare Pritchett
Senior Planning Officer
Planning Service

ECopy to: sue.doyle@orkney.gov.uk



Disclaimer

This advice is given without prejudice to any decision made on elements of the proposal regulated by us, as such a decision may take into account factors not considered at this time. We prefer all the technical information required for any SEPA consents to be submitted at the same time as the planning or similar application. However, we consider it to be at the applicant's commercial risk if any significant changes required during the regulatory stage necessitate a further planning application or similar application and/or neighbour notification or advertising. We have relied on the accuracy and completeness of the information supplied to us in providing the above advice and can take no responsibility for incorrect data or interpretation, or omissions, in such information. If we have not referred to a particular issue in our response, it should not be assumed that there is no impact associated with that issue. For planning applications, if you did not specifically request advice on flood risk, then advice will not have been provided on this issue. Further information on our consultation arrangements generally can be found on our [website planning pages](#).

INTERNAL MEMORANDUM TO: Roads Services

Date of Consultation	18th October 2018
Response required by	8th November 2018
Planning Authority Reference	18/419/PP
Nature of Proposal (Description)	Erect a house with an integral garage and air source heat pump
Site	Vanskavaig (Land Near), Carness, St Ola, Orkney
Proposal Location Easting	345932
Proposal Location Northing	1012519
Area of application site (Metres)	1116
Supporting Documentation URL	http://planningandwarrant.orkney.gov.uk/online-applications/ Please enter - 18/419/PP
PA Office	Development Management
Case Officer	Mrs Sue Doyle
Case Officer Phone number	01856 873535 EX 2503
Case Officer email address	Sue.Doyle@orkney.gov.uk
PA Response To	planningconsultation@orkney.gov.uk

Comments:

No adverse comment.

D.W.



REFUSE PLANNING PERMISSION
DELEGATED DECISION

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT, 1997 (as amended) ("The Act")
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013

Ref: 18/419/PP

Mr Aeron Findlater
15 The Mound
Kirkwall
Orkney
KW15 1ZH

With reference to your application registered on 8th October 2018 for planning permission for the following development:-

PROPOSAL: Erect a house with an integral garage and air source heat pump

LOCATION: Vanskavaig (Land Near), Carness, St Ola, Orkney

Orkney Islands Council in exercise of its powers under the above Act and Regulations, hereby **REFUSE Planning Permission for the reason(s) outlined on the next page.**

The plans to which this decision relates are those identified in Schedule 1 attached.

The Council's reasoning for this decision is: There is a presumption, in principle, for the development of new dwellings within the settlement boundaries under OLDP 2017 Policy 5A; however, all development must comply with all policies relevant to the application. The proposed development, is within a cumulative drainage impact area would not connect to the public sewer as required by the OLDP 2017. SEPA has objected to the application. The proposed private sewage system is not acceptable, and the development is contrary to Orkney Local Development Plan 2017 Policies 1 and 13C. There are no material considerations that would outweigh policy concerns.

(For further detail you may view the Report of Handling for this case by following the Online Planning link on the Council's web page and entering the reference number for this application).

Decision date: 20th December 2018

Jamie Macvie MRTPI, Planning Manager, Development Management, Orkney Islands Council, Council Offices, Kirkwall, Orkney, KW15 1NY

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Ref: 18/419/PP

REASONS FOR REFUSAL

01. The site is located within a cumulative drainage impact area where there are additional constraints regarding the disposal of sewage. Orkney Local Development Plan 2017 policy 13C and SEPA require all development within the settlement boundaries to connect to the public sewer. A private system is proposed and SEPA has formally objected to the application. Due to the failure to connect to the public system, the development is contrary to Orkney Local Development Plan 2017 Policies 1 and 13C. There are no material considerations that would outweigh policy concerns.

SCHEDULE 1 – PLANS, VARIATIONS AND ANY OBLIGATION**1. Plans and Drawings**

The plans and drawings to which this decision relates are those identified below:

Location & Site Plans	OIC-01	1
Elevations	OIC-02	1
Floor Plan	OIC-03	1
Floor Plan	OIC-04	1
Section Plan	OIC-05	1

2. Variations

If there have been any variations made to the application in accordance with section 32A of the Act these are specified below:

Date of Amendment:

Reasons

RIGHT TO SEEK A REVIEW

If you are unhappy with the terms of this decision you have a right to ask for a review of your planning decision by following the procedure specified below.

PROCEDURE FOR REQUESTING A REVIEW BY THE LOCAL REVIEW BODY

1. If the applicant is aggrieved by the decision of the Appointed Officer to:
 - a. Refuse any application, or
 - b. Grant permission subject to conditions.

In accordance with the Town and Country Planning (Scheme of Delegation and Local Review Procedure) (Scotland) Regulation 2008, the applicant may apply to the Local Review Body within three months from the date of this notice for a review of that decision.

Forms to request a review are available from either address below, or from <http://www.orkney.gov.uk/Service-Directory/D/appeal-a-decision.htm>

2. Completed forms to request a review should be submitted to the address below:

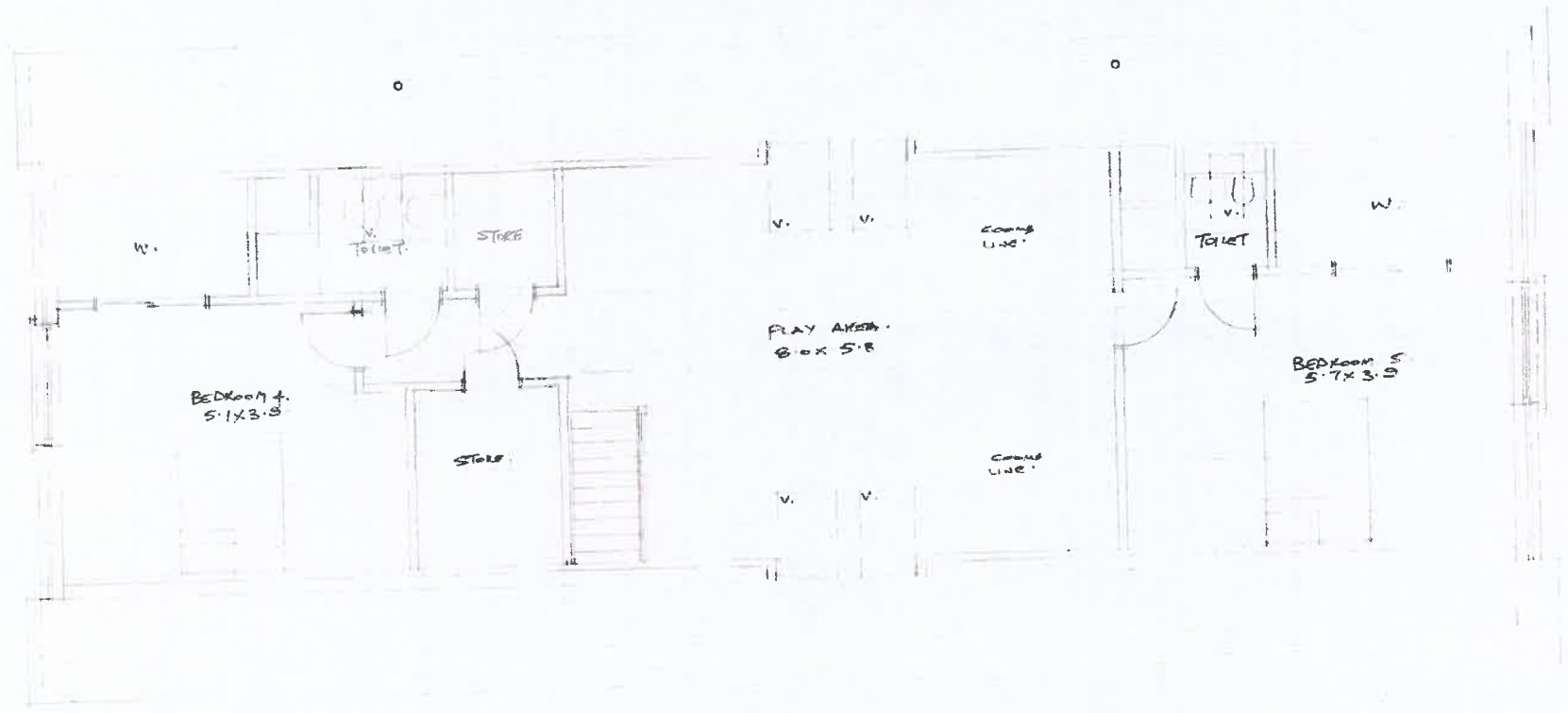
Committee Services
Chief Executive's Service
Orkney Islands Council
Council Offices
School Place
KIRKWALL
Orkney
KW15 1NY

and at the same time a copy of the notice for a review should be sent to:

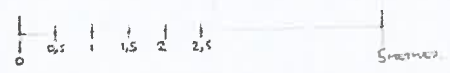
Planning Manager (Development Management)
Development and Infrastructure
Orkney Islands Council
Council Offices
School Place
KIRKWALL
Orkney
KW15 1NY

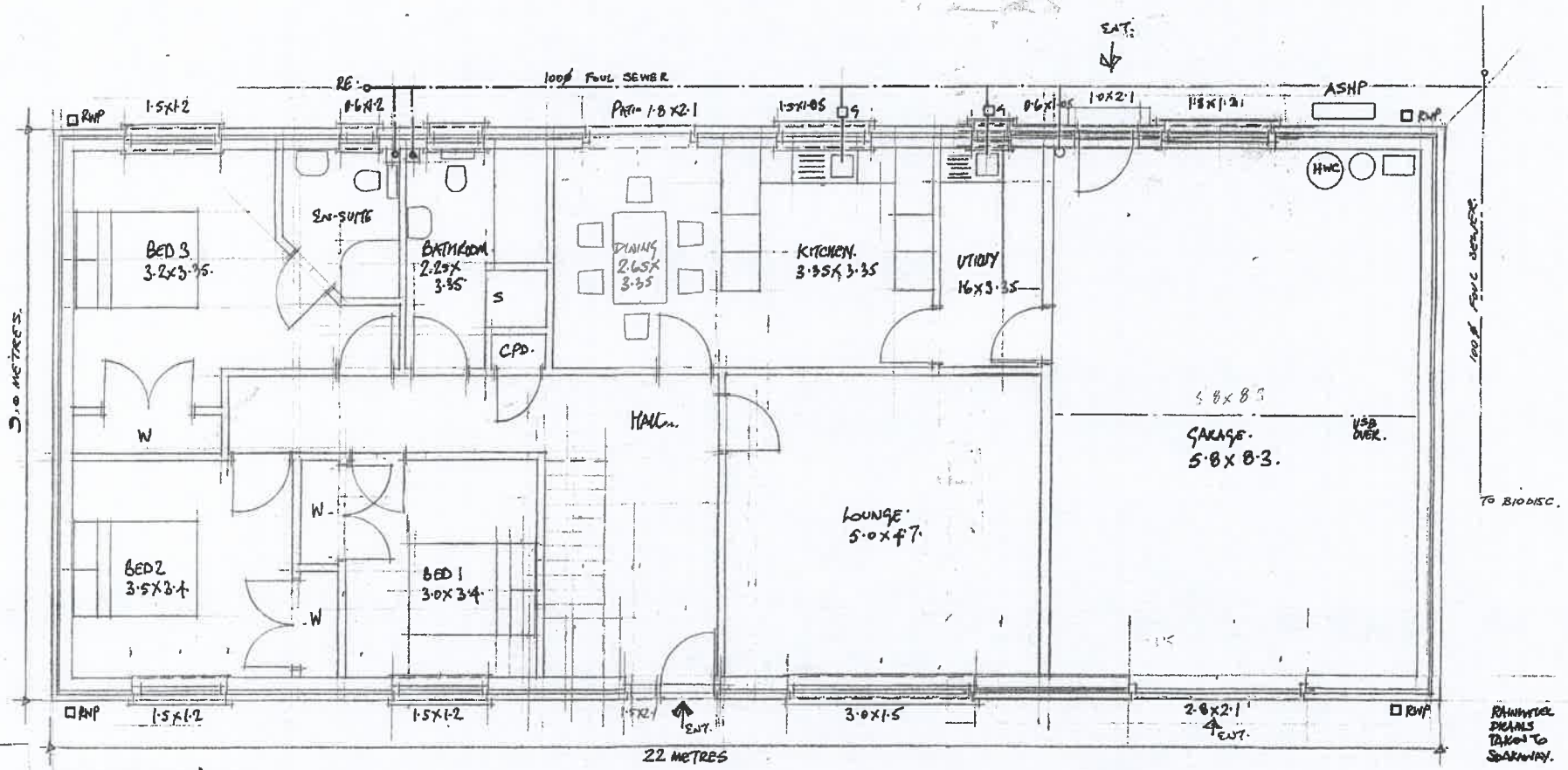
Email: planning@orkney.gov.uk

3. If permission to develop land is refused or granted subject to conditions, whether by the planning authority or by the Scottish Ministers, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Act.



FIRST FLOOR PLAN 1:50
 MK A - FUNDATION
 SPE AT GARAGE, STOW





GROUND FLOOR PLAN 1:50.
MR. A. FINDLATER. SITE AT CARNESS ST OLA.



REINFORCED
CONCRETE
BEAMS
TAKEN TO
SPANNING.

ORKNEY ISLANDS COUNCIL
Town & Country Planning
Planning (Scotland) Acts

REFUSED

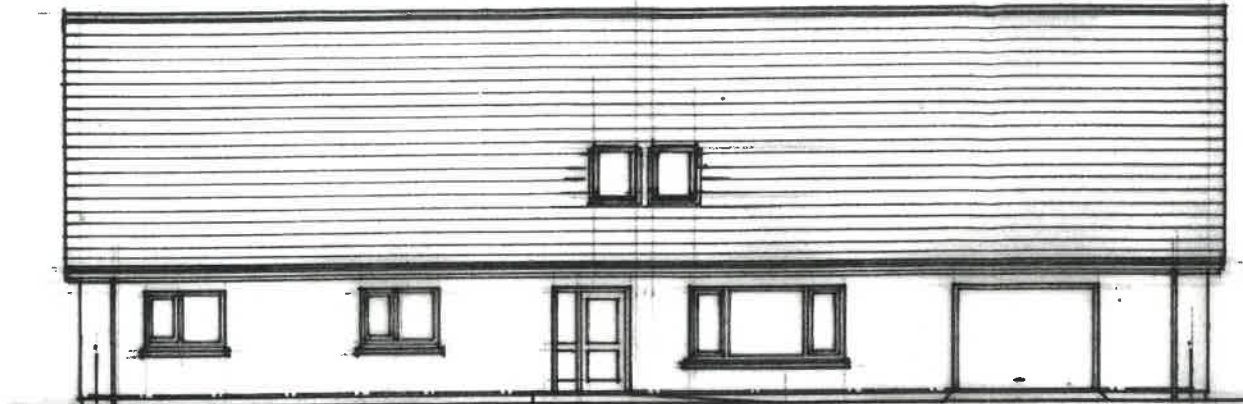
Application Number: 18/419/PP

Date: 20 December 2019

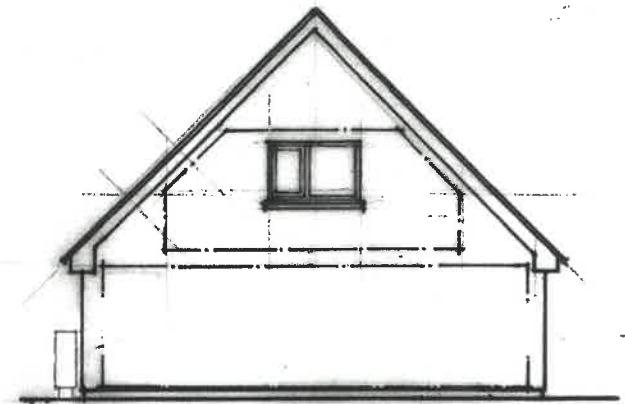


ORKNEY
ISLANDS COUNCIL

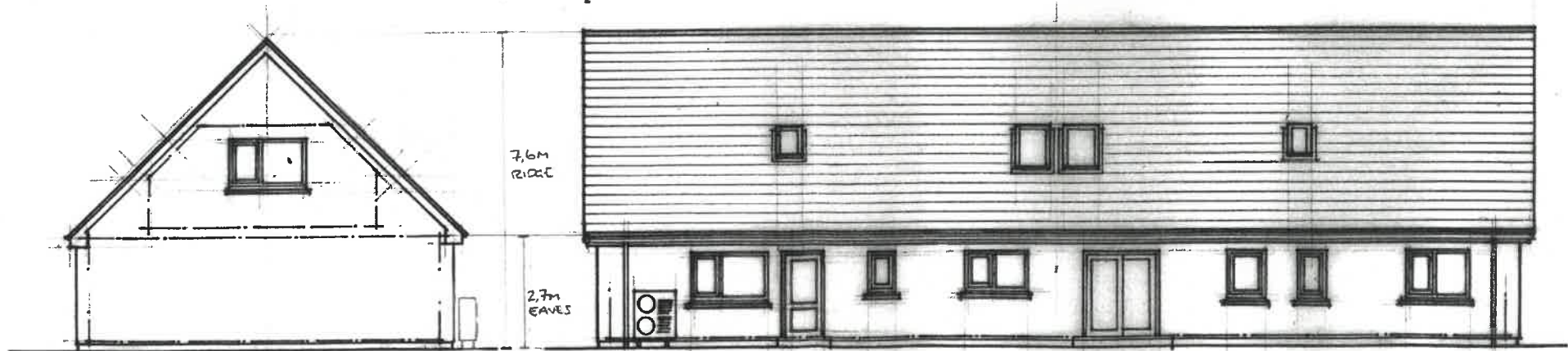
- REDLAND MINI STONE WALD BLACK, VENTED RIDGE TILES.
- GREY UPVC WINDOWS + DOORS
- BLACK UPVC FACIA BOARDS + SOFFITS.
- DASHING IN GLENAMM WHITE.



SW ELEVATION



SE ELEVATION



NW ELEVATION

NE ELEVATION

MR. A. FINDLATER, SITE AT CARNES, ST OLA. ELEVATIONS 1:100.

ORKNEY ISLANDS COUNCIL
Town & Country Planning
Planning (Scotland) Act

REFUSED

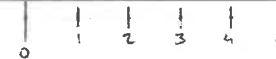
Application Number: 18/115/07

Date: 30 December 2018



ORKNEY ISLANDS COUNCIL

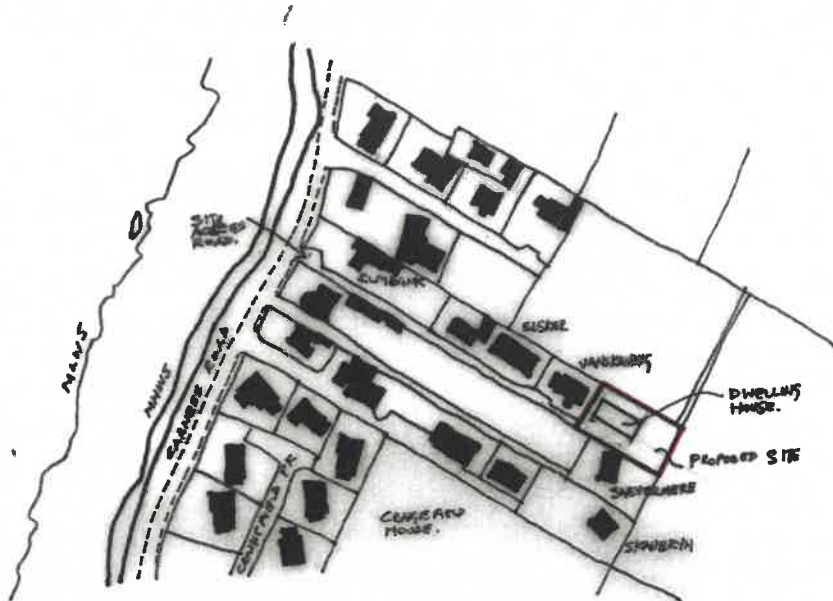
Plan/Drawing No:
OIC - 02



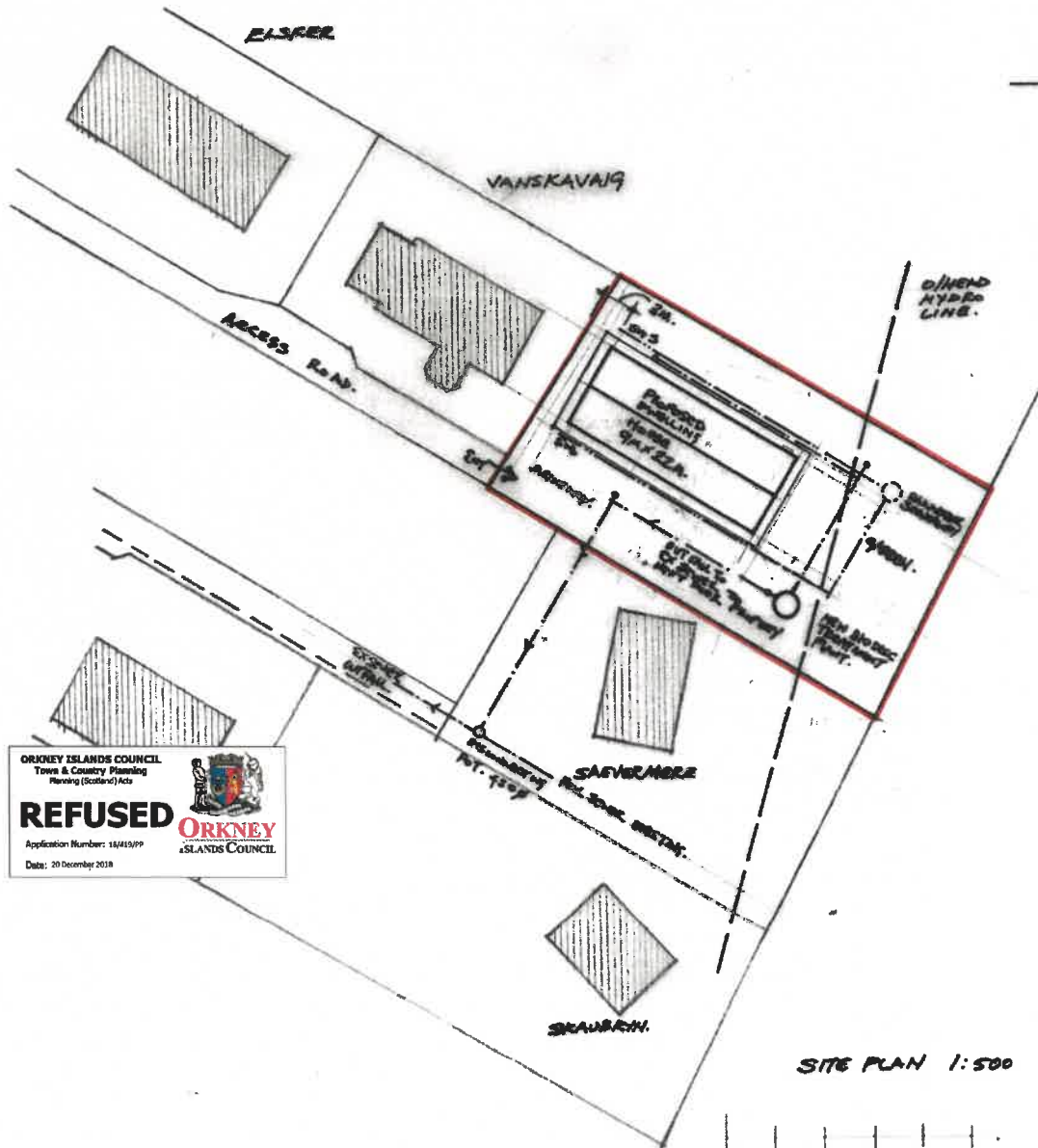
SCALE BAR 1:100

10 METERS

107



LOCATION PLAN 1:2500.



ORKNEY ISLANDS COUNCIL
 Town & Country Planning
 Planning (Scotland) Act
REFUSED
 Application Number: 16/419/PP
 Date: 20 December 2018



ORKNEY ISLANDS COUNCIL

Plan/Drawing No:
OIC - C1

SITE PLAN 1:500



MR. A. FINDLATER.
 PROPOSED DWELLING HOUSE AT CALNESS, STOLA.
 SITE & LOCATION PLANS.

ORKNEY ISLANDS COUNCIL
Town & Country Planning
Planning (Scotland) Acts

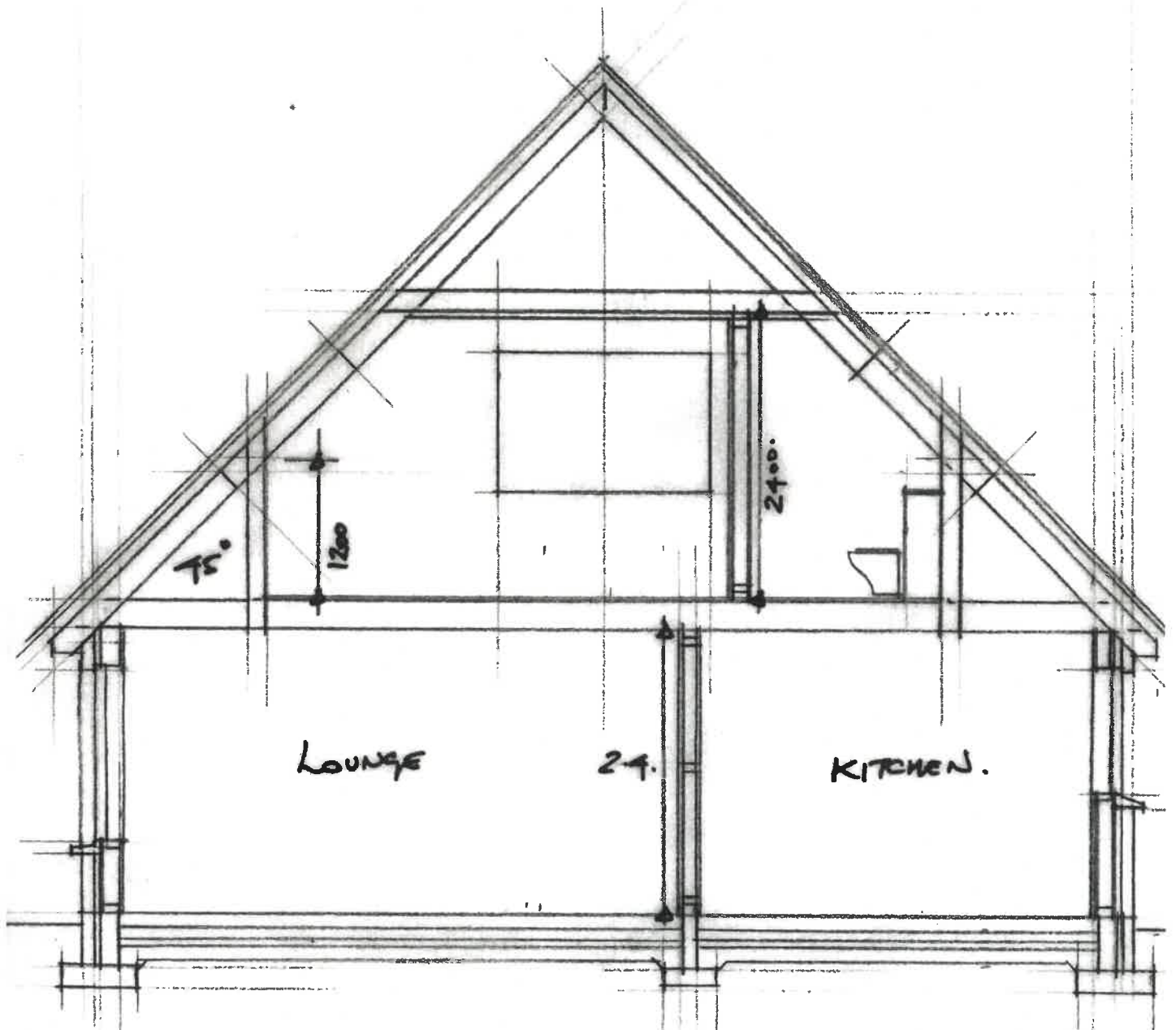


REFUSED

ORKNEY
ISLANDS COUNCIL

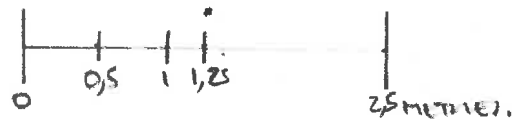
Application Number: 18/419/PP

Date: 20 December 2018



MR A. FINDLATER
SITE AT CARNESS, ST OLA.
SECTION 1:50.

Plan/Drawing No:
OIC-05



Appendix 5.

Proposed Conditions – 18/419/PP

01. The materials used on the external surfaces of the development hereby granted planning permission shall be as stated:

- Roof – Flat profile concrete tiles, colour black (Mini Stonewold).
- Walls – Dry dash, colour 'Glenarm White', with base course to match.
- Doors and windows – colour grey.
- Fascias and soffits – colour black.
- Rainwater goods – colour black.

Reason: To ensure that the external appearance of the development is acceptable.

02. Throughout the life of the development, the maximum noise from the Air Source Heat Pump hereby granted planning permission shall not exceed NR25 within any residential property outwith the development site, where NR25 is the Noise Rating Curve at 25, (noise measurements to be made with a window of any residential property outwith the development open no more than 50mm).

Reason: To protect any nearby residents from excessive noise disturbance from the air source heat pump.

03. Throughout the lifetime of the development hereby approved, surface water must be treated in accordance with the principles of Sustainable Drainage Systems (SuDS) and be compliant with the guidance set out in CIRIA's SuDS Manual C753. The requisite surface water drainage shall be operational prior to the development being brought into use and shall be maintained as such thereafter.

All surface water shall be contained within the development site and there shall be no surface water drainage run-off onto the road or adjacent land/property. Further information on SuDS may be found on SEPA's website at: www.sepa.org.uk

Reason: To ensure the provision of an adequate surface water drainage system and to accord with Policy 13B – Sustainable Drainage Systems (SuDS) of Orkney Local Development Plan 2017, Scottish Planning Policy and in the interests of road safety.

04. The foul drainage system hereby approved shall be connected and fully operational prior to the first occupation of the development hereby approved. The foul drainage system shall be installed in such a way that it can, in future, be connected to Scottish Water's foul water drainage system.

Reason: In the interests of environmental protection.

05. Throughout the lifetime of the development hereby approved, only the existing access point into the site, as shown on the approved plan, shall be used for access to the development.

Any damage caused to the existing road infrastructure during construction of the development shall be repaired prior to first occupation of the development, to the satisfaction of the Planning Authority, in conjunction with Roads Services.

Reason: In the interests of road safety.

06. Prior to the commencement of development, full details of all boundary treatment (including heights, materials, colour) and full details of screening along the boundary between the approved site and Saevermere (including height, materials, colour and, in the case of planting, the type, species, heights of all trees and shrubs) shall be submitted to, and approved in writing by, the Planning Authority. Thereafter and prior to first occupation of the development, the boundaries and screening shall be implemented fully in accordance with approved details and retained throughout the lifetime of the development.

Reason: Details have not been submitted and in the interests of the protection of the residential amenity/privacy of Saevermere.

07. Hours of work during the construction of the development hereby approved, involving the use of machinery and powered tools, or any other operation, for example hammering, that would generate noise audible beyond the boundary of the site, shall be restricted to 07:30 to 18:00 Mondays to Fridays, 08:00 to 13:00 on Saturdays and not at all on Sundays, Christmas or New Year Public Holidays unless otherwise agreed in writing with the Planning Authority.

Throughout the construction phase of the development there shall be no burning of waste material on site.

Reason: In the interest of residential amenity of the area and in order to reduce any possible nuisance arising to nearby residents during the construction of this development.